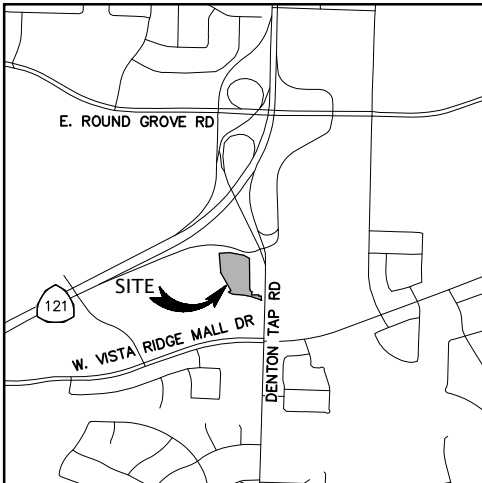
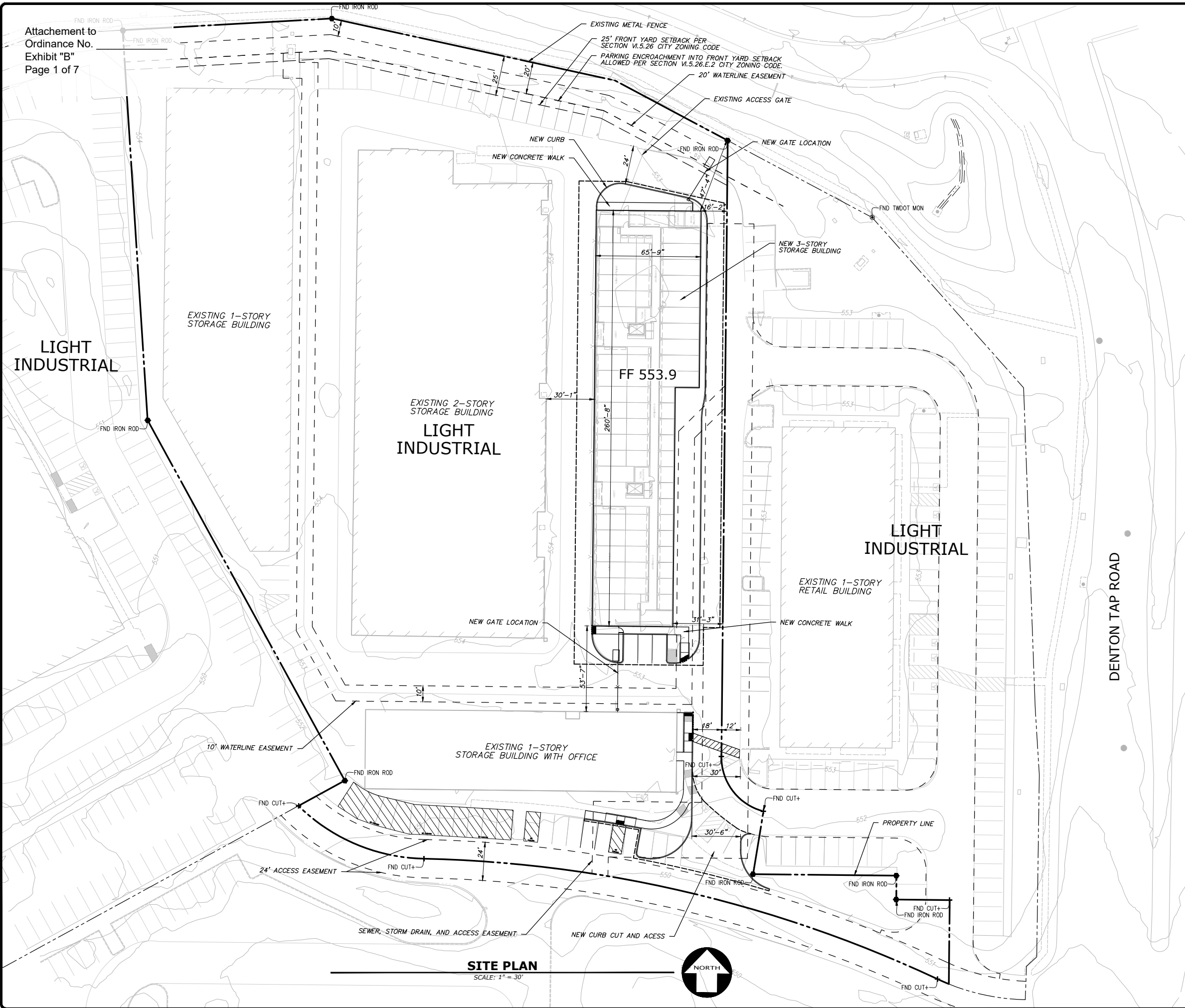


Z:\2024\A24193-1\DWG\TITLEMENTS\A24193-1-PS.dwg, C:\0 SITE PLAN Proj. Friday, April 18, 2025 ALEXE VALKENHOF

Attachment to
Ordinance No.
Exhibit "B"
Page 1 of 7



VICINITY MAP

SCALE: 1" = 1000'

SHEET INDEX

NO.	SHEET	DESCRIPTION
1	C1.0	SITE PLAN
2	C2.0	PLAT
3	C2.1	TOPOGRAPHIC SURVEY
4	C3.0	PRELIMINARY GRADING & DRAINAGE PLAN
5	C3.1	PRELIMINARY GRADING DETAILS
6	C4.0	PRELIMINARY UTILITY PLAN
7	C5.0	TREE EXHIBIT
8	A-102	PROPOSED ELEVATIONS
9	LPN-1.0	LANDSCAPE NOTES
10	LP-1.0	PLANTING PLAN-OVERALL
11	LP-1.1	PLANTING PLAN
12	LP-1.2	PLANTING PLAN

OWNER/DEVELOPER

EXTRA SPACE STORAGE
STEWART HANDLEY
2795 E. COTTONWOOD PKWY #300
SALT LAKE CITY, UTAH 84121
(801) 228.8579

CIVIL ENGINEER

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
ATTN: RACHEL KESSLER
10900 STONELAKE BOULEVARD, SUITE 103
AUSTIN, TX 78759
(512) 564-8914

ARCHITECT

DALLENBACK COLE
VIKASH PATEL
315 NINTH STREET - SUITE 1
SAN ANTONIO, TEXAS 78215
(210) 493.2234

SUMMARY TABLE

PROPOSED USE	SELF SERVICE STORAGE
SUBJECT PARCEL - 3R-2	3.97 AC
EXISTING BUILDING FLOOR AREA	78,476 SF
PROPOSED BUILDING FLOOR AREA	44,458 SF
MAX BUILDING HEIGHT	44'-4"
PERCENTAGE LANDSCAPING (NEW BUILDING)	13%
TOTAL PARKING REQUIRED	35
TOTAL PARKING PROVIDED	39

SITE PLAN

SCALE: 1" = 30'

NO. REVISIONS BY

SITE PLAN

SPECIAL USE PERMIT
OF
EXTRA SPACE STORAGE 3436
FOR
EXTRA SPACE
STORAGE

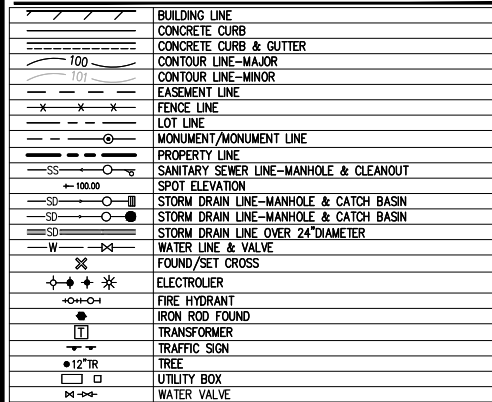
EXTRA SPACE STORAGE 3436 -
NEW BUILDING
HIGH POINT OAKS ADDITION
LOTS 3R-1 & 3R-2, BLOCK C
5.798 ACRES
ZONING: LIGHT INDUSTRIAL
USE: SELF SERVICE STORAGE

DRAWING NUMBER:

C1.0

1 OF 12 SHEETS

Attachment to
Ordinance No. _____
Exhibit "B"
Page 2 of 7



Tree #	Species - Common	Species - Scientific	DBH (in.)	Protected or Removed
5253	Live Oak	<i>Quercus virginiana</i>	14	Protected
5254	Chinese Pistache	<i>Pistacia chinensis</i>	9	Protected
5255	Live Oak	<i>Quercus virginiana</i>	11.5	Protected
5256	Live Oak	<i>Quercus virginiana</i>	13.5	Protected
5257	Live Oak	<i>Quercus virginiana</i>	14	Protected
5258	Live Oak	<i>Quercus virginiana</i>	16	Protected
5260	Chinese Pistache	<i>Pistacia chinensis</i>	9	Protected
5261	Live Oak	<i>Quercus virginiana</i>	12.5	Protected
5261	Live Oak	<i>Quercus virginiana</i>	10.5	Protected
5262	Live Oak	<i>Quercus virginiana</i>	9	Protected
5263	Burr Oak	<i>Quercus macrocarpa</i>	15	Protected
5264	Live Oak	<i>Quercus virginiana</i>	13.5	Protected
5265	Chinese Pistache	<i>Pistacia chinensis</i>	13.5	Protected
5266	Chinese Pistache	<i>Pistacia chinensis</i>	10	Protected
5267	Chinese Pistache	<i>Pistacia chinensis</i>	11.5	Protected
5268	Shumard Oak	<i>Quercus shumardii</i>	10	Protected
5269	Chinese Elm	<i>Ulmus parvifolia</i>	15	Protected
5270	Red Oak	<i>Quercus rubra</i>	7.5	Protected
5271	Live Oak	<i>Quercus virginiana</i>	12	Protected
5272	Red Oak	<i>Quercus rubra</i>	8.5	Protected
5273	Live Oak	<i>Quercus virginiana</i>	16.5	Protected
5274	Red Oak	<i>Quercus rubra</i>	7	Protected

NO.	REVISIONS	BY
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10395 Old Placerville Road, Suite 100
Sacramento, CA 95827
Phone: (916) 538-1905
www.kionwright.com

TREE EXHIBIT

SPECIAL USE PERMIT
OF
EXTRA SPACE STORAGE 3436
FOR
EXTRA SPACE

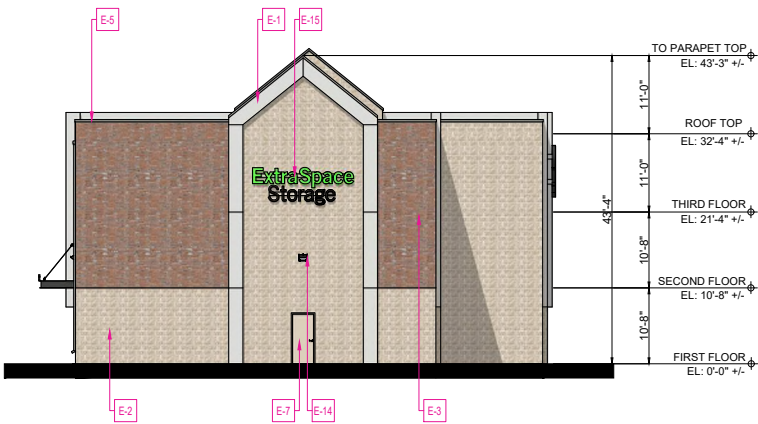
EXTRA SPACE STORAGE 3436 -
NEW BUILDING
HIGH POINT OAKS ADDITION
LOTS 3R-1 & 3R-2, BLOCK C
5.798 ACRES
ZONING: LIGHT INDUSTRIAL
USE: SELF SERVICE STORAGE

DRAWING NUMBER:
C5.0
6 OF 12 SH

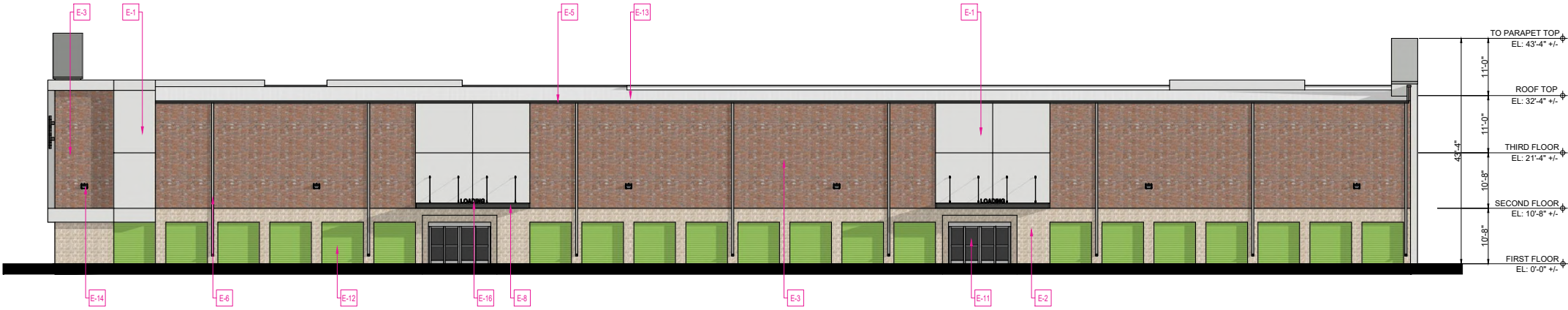
KIER + WRIGHT PROJECT NUMBER: A24193-1



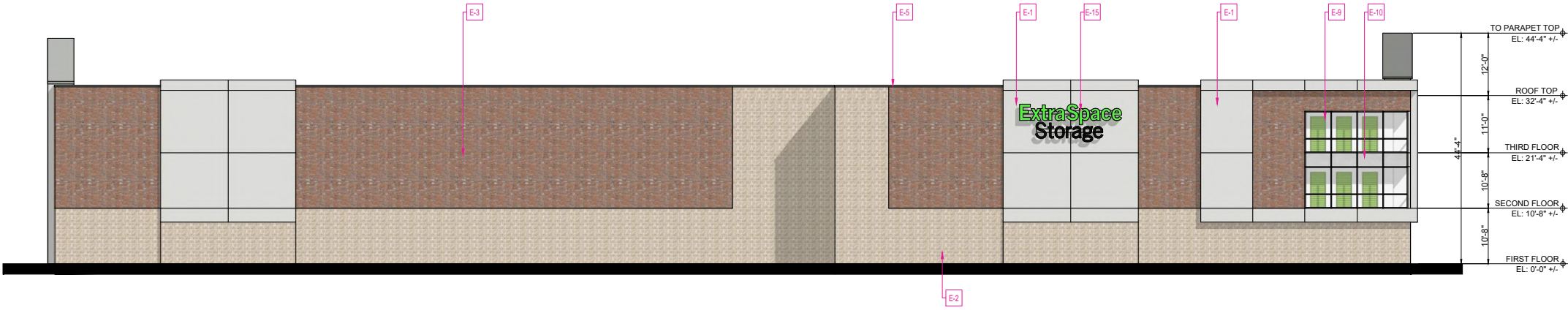
NORTH ELEVATION - 80.3% MASONRY COVERAGE



SOUTH ELEVATION - 89.7% MASONRY COVERAGE



WEST ELEVATION 82.7% MASONRY COVERAGE



EAST ELEVATION 78.8% MASONRY COVERAGE

AVERAGE MASONRY COVERAGE = 82.8%

ELEVATION COLOR AND KEY NOTES	
E-1	EIFS SMOOTH FINISH NEBULOUS WHITE COLOR
E-2	SPLIT FACE CMU BLOCK LIGHT TAN (MATCH EXISTING)
E-3	RED BRICK (MATCH EXISTING)
E-4	NOT USED
E-5	PRE-FINISHED METAL GUTTER/TRIM CITYSCAPE COLOR
E-6	PRE-FINISHED METAL DOWN SPOUT ARGOS COLOR
E-7	METAL DOOR MATCH TAN CMU COLOR
E-8	PRE-FINISHED ALUMINUM CANOPY IRON ORE COLOR
E-9	STOREFRONT GLASS WITH FAUX DOOR CLEAR ALUMINUM
E-10	STOREFRONT WITH METAL PANEL CLEAR ALUMINUM
E-11	12' AUTO BI-PARTING DOOR CLEAR ALUMINUM
E-12	CUSTOMER ROLL-UP DOOR WASABI GREEN
E-13	METAL ROOF COLOR: WHITE
E-14	LED WALL LIGHT
E-15	E.S.S. CHANNEL LETTERS COLOR: REFER TO RENDERINGS
E-16	LOADING CHANNEL LETTERS COLOR: BLACK



PROJECT CONTACT

NAME: STEWART HANDLEY
 PHONE: -
 EMAIL: shandley@extraspacespace.com

CONTACT ADDRESS

EXTRA SPACE STORAGE, Inc.,
 CORPORATE OFFICE
 2795 E COTTONWOOD PARKWAY,
 SUITE 400,
 SALT LAKE CITY, UTAH 84121

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EXTRA SPACE STORAGE 3436 - NEW BUILDING
 HIGH POINT OAKS ADDITION
 LOTS 3R-1 & 3R-2, BLOCK C
 5.798 ACRES
 ZONING: LIGHT INDUSTRIAL
 USE: SELF SERVICE STORAGE

PROJECT LOCATION

LIFE STORAGE
 2710 DENTON TAP ROAD,
 LEWISVILLE, TX 75067

DATE

01-17-2025

SHEET TITLE

PROPOSED ELEVATIONS

SHEET NUMBER

A-102

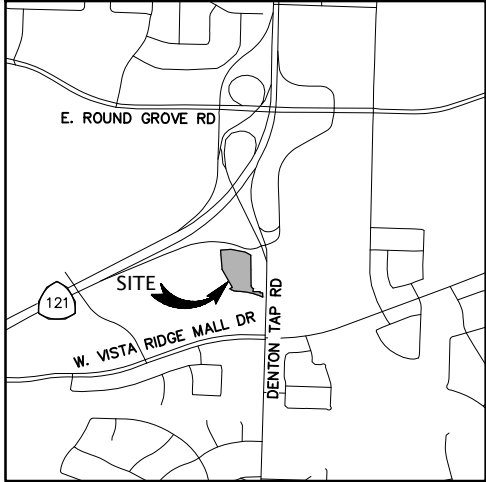
- Contractor shall be responsible for becoming aware of all existing conditions, utilities, pipes and structures, etc. related to the project prior to bidding and construction. The Contractor shall be held responsible for contacting all utility companies for location of all underground utility lines, including depths, prior to any excavation. The Contractor shall notify the Owner's representative of any conflicts with construction and utilities so that adjustments can be planned prior to installation. Contractor shall assume full responsibility for any and all cost or other liabilities incurred due to damage of said utilities, etc.
- The Contractor shall not willfully proceed with construction as designed when it is apparent that unknown obstructions exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's Representative for clarification. The Contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.
- Contractor shall be responsible for coordination with subcontractors and other contractors of related trades as required to accomplish the planting and related operations.
- The acceptable tolerances for this project are minimal and specific layout is required as shown on the layout, planting and other plans. Final location and staking of all plant materials shall be accepted by the Owner's Representative in advance of beginning installation of all plant materials.
- Coordinate installation of all plant materials with other ongoing work on the project, including but not limited to irrigation, pavements, curb and related constructions. Any damage to existing improvements is the responsibility of said Contractor. The contractor shall notify the owner of the damages and shall be responsible for all repairs.
- Contractor shall notify Owner's Representative 48 hours prior to commencement of work to coordinate project inspection schedules.
- The Contractor shall take all necessary scheduling and other precautions to avoid climatic damage to plants. A "planting" of specific calendar days is required to be submitted by the Contractor for approval and planting operations should occur per this approved schedule.
- If conflicts arise between site conditions or size of areas and scaled plans, Contractor is required to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.
- Plant names may be abbreviated on the drawings. See plant legend for symbols, abbreviations, botanical/common names, sizes, estimated quantities (if given) and other remarks.
- It is the Contractor's responsibility to furnish all plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Contractor and certified pest and disease free. It is the Contractor's obligation to maintain and warranty all plant materials per the specifications. All plants shall be subject to Owner's approval prior to installation.
- Where provided, area takeoffs and plant quantity estimates in plant list are for information only. Contractor is responsible to do their own quantity take-offs for all plant materials and sizes shown on plans. In case of any discrepancies, plans take precedence over call-outs and/or the plant list(s).
- Contractor shall provide "per-unit costs" for every size of plant material, and by type, as called out on Planting Plans in the Bid Proposal. Unit cost to include the plant material itself and installation, including all labor, amendments, fertilizers, warranty, etc., as detailed and specified for each size, "complete in place".
- The Contractor is responsible to restore all areas of the site, or adjacent areas, where disturbed by operations of or related to the Contractor's work. Sod areas disturbed shall be restored with new sod. Native areas disturbed, if not already improved to meet other requirements of this contract, shall be restored consistent with type, rates and species of existing condition.
- During plant establishment, native and wetland areas shall be protected from sedimentation and erosion. Prior to construction activities, native and wetland areas outside of the project limits shall be protected with silt fence. Any such disturbance will require full restoration to natural pre-construction conditions at the contractors expense.
- When planting trees and shrubs in existing natural areas, minimize disturbance to adjacent existing vegetation. Any such disturbance will require full restoration to natural pre-construction conditions at the contractors expense.
- No Ball & Burlap (B&B) material is allowed or accepted unless specifically specified in the plans or approved through a formal submittal by the Landscape Architect.
- All plants shall be nursery grown, Grade 1 plants meeting American Nursery and Landscape Association (ANLA) standards set forth in the "American Standard for Nursery Stock" (ANSI Z60.1-2004). Plants are to be typical in shape and size for species. Plants shall not be root-bound or loose in their containers. Handle all plants with care in transporting, planting and maintenance until inspection and final acceptance.
- Warranty: Provide a minimum one-year replacement warranty for all plant materials. Warranty shall cover plants which have died or partially died (thereby ruining their natural shape), but shall not include damage by vandalism, browsing, hail, abnormal freezes, drought or negligence by the Owner. The Warranty is intended to cover Contractor negligence, infestations, disease and damage or shock to plants. Plants replaced under Warranty will be warranted for one year following replacement.
- The Contractor is responsible for all maintenance of the site for the duration of construction until acceptance.
- The Contractor shall provide a 90-day maintenance period after completion of all scope elements.

PLANTING LAYOUT AND INSTALLATION

- The Contractor shall be responsible for accurately laying out the plant beds and lawn areas by scaling the Drawings. The Contractor shall provide paint lines/stakes/hose or other means to fully indicate the specific layout geometry of all bed lines for approval by Owner's Representative prior to installation. The Contractor's Base Bid shall anticipate minor adjustments as directed by the Landscape Architect in the field. Changes affecting quantities will be covered by unit prices.
- Following the approval of layout, the Contractor shall closely coordinate the installation of the irrigation system to conform to the approved layout.
- All planting beds are to be separated from adjacent Turf Sod, Turf Seed and Native Seed areas with edging per specifications and details. Additional locations may be indicated on the Drawings. Install edging following manufacture's installation instructions. Maintain an accurate layout with smooth curves and transitions, free of kinks and abrupt bends. Top of edging is to be 1" above soil level of adjacent turf. In Bid Proposal furnish a unit price per linear foot of edging installed.
- Provide matching sizes and forms for all species of trees and plants installed on grid or spaced equally in rows as shown on drawings. Adjust spacing (to "equal-equal") as necessary, subject to acceptance by the Owner's Representative.
- Unless otherwise indicated:
 - All groupings of groundcovers, perennials, ornamental grasses and annuals shall be triangularly spaced (equal-equal).
 - All planting areas including sod, seed and planting beds, shall receive soil amendments per the notes and specifications.
 - Sodded lawn shall have been grown between 9 and 18 months and shall be vigorous, well-rooted and healthy turf. Minimum thatch thickness shall be ¾".
 - All bulb planting shall occur after mid-October and before ground is frozen. See details for bulb planting layout.
- All gravel areas or rock mulches should be installed over weed barrier fabric. Edges of weed barrier should overlap minimum 6". Gravel depth shall be a minimum of 3" deep, or as indicated in the plan details.
- All Plant Beds and pit planted plants shall receive a 3" depth layer of shredded hardwood mulch. Refer to plans, details and specifications for location and type of any alternate mulch used. In Bid Proposal furnish a unit price(s) per cubic yard of mulch(es) placed. This unit price(s) will be used in the adjustment of bed areas.
- Planting pits for 1 and 5 gallon shrubs shall be at least 8" larger in diameter than the container size. Larger container sizes and B&B plants shall be planted in pits at least 3 times larger in diameter than the root ball size.
- Plants shall be installed to present their best side facing the viewer.
- Owner's representative shall have final approval of plant material layout.

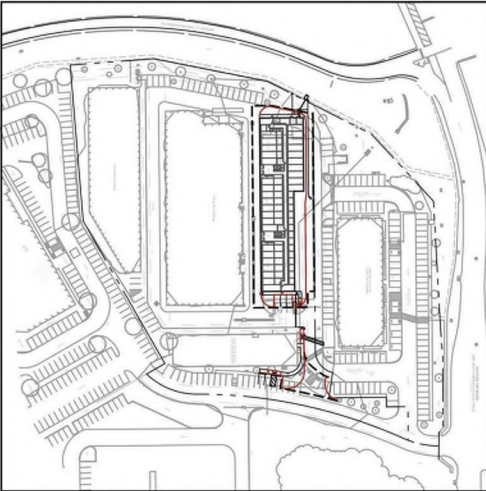
AUTOMATIC IRRIGATION SYSTEM GENERAL NOTES:

- Obtain all permits and licenses applicable prior to the start of work.
- All required landscape areas shall be irrigated per applicable local ordinances and tceq regulations.
- Drip irrigation shall be placed in accordance with manufacturer recommendations. extend drip lines to irrigate planting adjacent to plant beds.
 - Maximum drip lateral length shall not exceed manufacturer specifications
- Any quantities shown are approximate. verify quantities and provide all labor, materials, and devices necessary to complete the irrigation system.
- The layout shown is diagrammatic. do not place lines or devices in the critical root zone of any tree, or in pavement areas, or areas that conflict with proper installation and function of the system.
- Site conditions:
 - Verify and mark the location of all on-site utilities which might be affected by the irrigation system.
 - Verify and mark the location of all buried cables, conduits, piping, etc. prior to trenching or digging. call Texas 811 per Texas utilities code title 5 chapter 251 underground facility damage prevention and safety.
 - Adjust the design as necessary, together with the licensed irrigator, and owners, to suit site conditions, elevations and grades before proceeding with work.
 - Protect from damage as necessary, existing property, existing landscape features, plant material, structures, this work in progress, and the work of other trades.
- Provide professional grade valve boxes large enough to accommodate valves and other devices shown in the details. box extensions may be required. ground boxes shall be constructed of materials sufficient in strength to accept loads (pedestrian or vehicular) required based on actual installation location.
- Pressure regulating component(s) shall be required where static pressure exceeds manufacturer's recommended operating range.
- See details for other required materials and devices.
- Piping and fittings:
 - Mainline irrigation system piping 3" and larger shall be bell & gasketed schedule 40 pvc pipe. lateral irrigation system piping 3" and larger shall be bell & gasketed schedule 40 pvc pipe.
 - All piping shall utilize thrust blocks at pipe connections per details. where leemco fitting/joint restraints are used thrust blocks may be excluded.
 - All pipes and electrical bundles passing beneath driveways or paved areas must be sleeved with schedule 40 pvc pipe with sleeve diameter must equal twice that of the pipe or sized as shown on plans.
 - All pvc pipe fittings shall be primed with a colored primer, prior to applying pvc cement.
 - Irrigation mainline and laterals 4" and larger shall utilize leemco fittings/joint restraints as per manufacturer specifications.
 - All lateral pipe shall buried to a min. depth of 6"
 - All mainline pipe shall be buried to a depth of 18", where conditions prohibit this depth, a min. depth of 6" may be used when approved by the licensed irrigator
- Excavation:
 - Excavate to depths required to provide 4" depth of sand bedding for piping when rock or other unsuitable bearing materials are encountered
 - Excavate trenches and install piping and fill during the same working day. do not leave open trenches or partially filled trenches open overnight
- Irrigation controller and system shall be equipped with an evapotranspiration sensor for daily weather adjustment to run times, the e/t sensor shall have rain/freeze shutoff.
 - Irrigation controller shall be equipped with a flow sensor
 - irrigation controller shall be programmed prior to project closeout.
- Backflow prevention devices:
 - Install per manufacturer specifications
 - Adequate insulation must be provided to protect against freeze
- Contractor shall provide a minimum of a 1- year warranty on all craftsmanship, parts, materials and overall irrigation system within the original scope of work.



VICINITY MAP

SCALE: 1" = 1000'



KEY MAP



PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HT/SPD	WATER USE
TREES						
QULA	2	Quercus laceyi / Lacey Oak	Container Grown	3"Cal	12-15 H X 8 Spd	L
QUVI	3	Quercus virginiana / Southern Live Oak	Container Grown	3"Cal	12-15 H X 8 Spd	L
CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CONTAINER SIZE	NOTES	WATER USE
SHRUBS						
LVN	26	Ilex vomitoria Nana / Dwarf Yaupon	Container Grown	5 gallon	Full	L
MYDD	45	Myrica cerifera Dons Dwarf / Dons Dwarf Wax Myrtle	Container Grown	5 gallon	Full to Ground	L-M
RHC	27	Rhaphiolepis indica Conor / Bearar Tabor Indian Hawthorn	Container Grown	5 gallon	Full	LV
RHVI	3	Rhus virens / Evergreen Sumac	Container Grown	5 gallon	Full to Ground	L-M
GRASSES						
NOTE	40	Nolina texana / Texas Sacahuista	Container Grown	3 gallon	Full	L
GROUND COVER						
JUSA	19	Juniperus sabina var. tamariscifolia / Tamarix Juniper	Container Grown	3 gallon	Full	L-M

TURF GRASS/ PLANT BEDS					
NAME	TOTAL	UNITS	DESCRIPTION		
Plant Bed	1,277	sf			
	24	cy	Planting mix		
	12	cy	Mulch		
Cynodon dactylon "Tif 419" / Bermuda Grass	3,122	sf	Cynodon dactylon "TIFWAY 419"		
	347	sy	Turf Sod		
	39	cy	Top Soil		

MISCELLANEOUS					
NAME	TOTAL	UNITS	DESCRIPTION		COMMENTS
Steel Edging	389	lf	3/16" thick; Green to match existing		Source: Outdoor Warehouse, 2791 S Stemmons Fwy Lewisville, TX 75067
Mulch Bed	1	cy	Double Shredded Hardwood Mulch		
Black Star Gravel	4	cy	3" Depth / Size: 1/2-1" Dia.		
River Rock	7	cy	4" Depth / Size: 1.5" - 3" Dia., "Austin River Rock"		

IRRIGATION				
SYMB	QTY	UNITS	DESCRIPTION	COMMENTS
CONTROLLER	1	ea.	Rainbird, Hunter, or Approved Equal	
PLANT BEDS	1,277	s.f.	Drip/Spray	
TREES	10	ea.	Drip/Bubbler	
SOD/TURF	3,122	s.f.	Drip/Spray/Bubbler	2 per shade tree, 1 per ornamental tree



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN FOR APPROXIMATION ONLY. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

SEC Planning
Austin, Texas

LAND PLANNING
LANDSCAPE ARCHITECT
COMMUNITY BRA

3600 W. Parmer Ln
Suite 210
Austin, TX 78727
T 512.246.7003
www.secplanning.com
Email : info@secplanning.com

extra space storage

2795 e. cottonwood pl
salt lake city, utah



KEY MAP



CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HT/SPD	WATER USE
TREES						
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Drawing File Name
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Issued:

- CITY SUBMITTAL
- CITY SUBMITTAL

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Revisions:

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Issue Date: 01/

Drawn By: CM

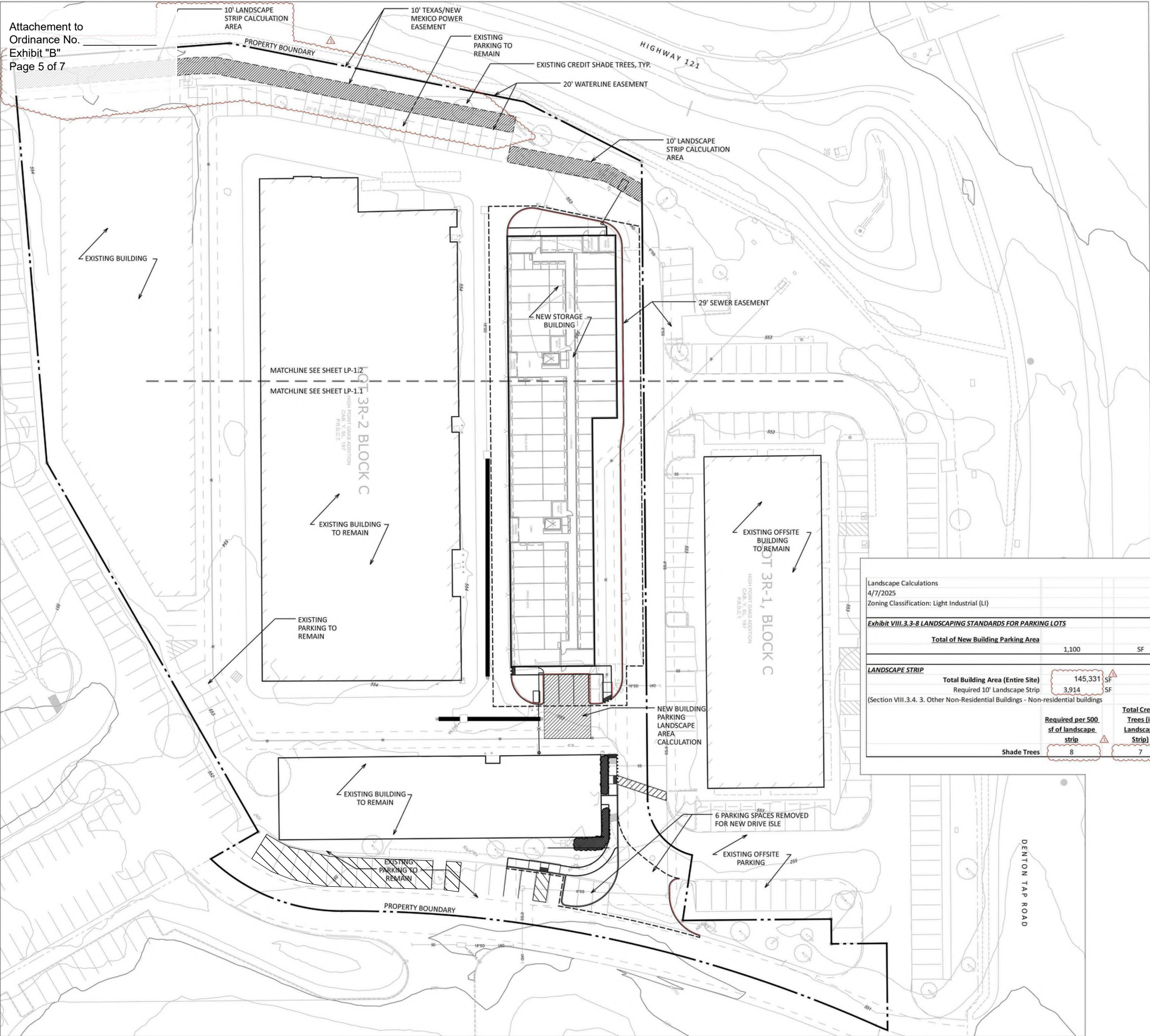
Reviewed By: CM, BD

Project No.
240178-K

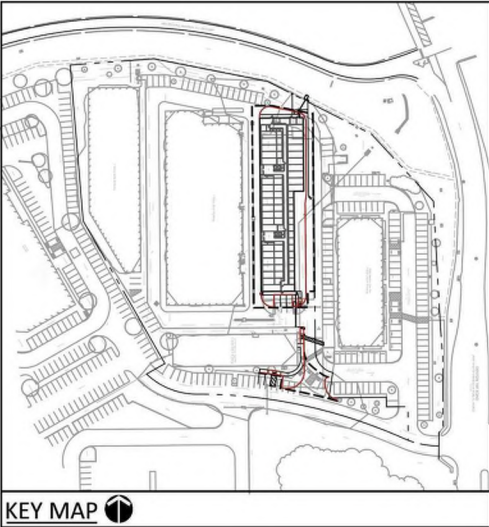
LANDSCAPE

Sheet No.
LPN - 1.0

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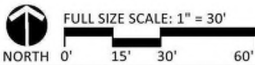
VICINITY MAP
SCALE: 1" = 1000'



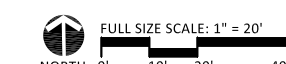
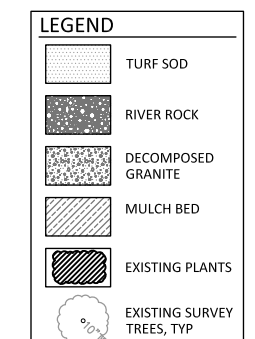
Landscape Calculations
4/7/2025
Zoning Classification: Light Industrial (LI)

Exhibit VIII.3.3-8 LANDSCAPING STANDARDS FOR PARKING LOTS

Total of New Building Parking Area		Total Required Landscape Area		Total Provided Landscape at New Building Parking Area	
	1,100	SF	55	SF	377
LANDSCAPE STRIP					
Total Building Area (Entire Site)	145,331	SF			
Required 10' Landscape Strip	3,914	SF			
(Section VIII.3.4. 3. Other Non-Residential Buildings - Non-residential buildings)					
	Required per 500 sf of landscape strip	Total Credit Trees (in Landscape Strip)	Total Planted	Total Provided	
Shade Trees	8	7	1	8	

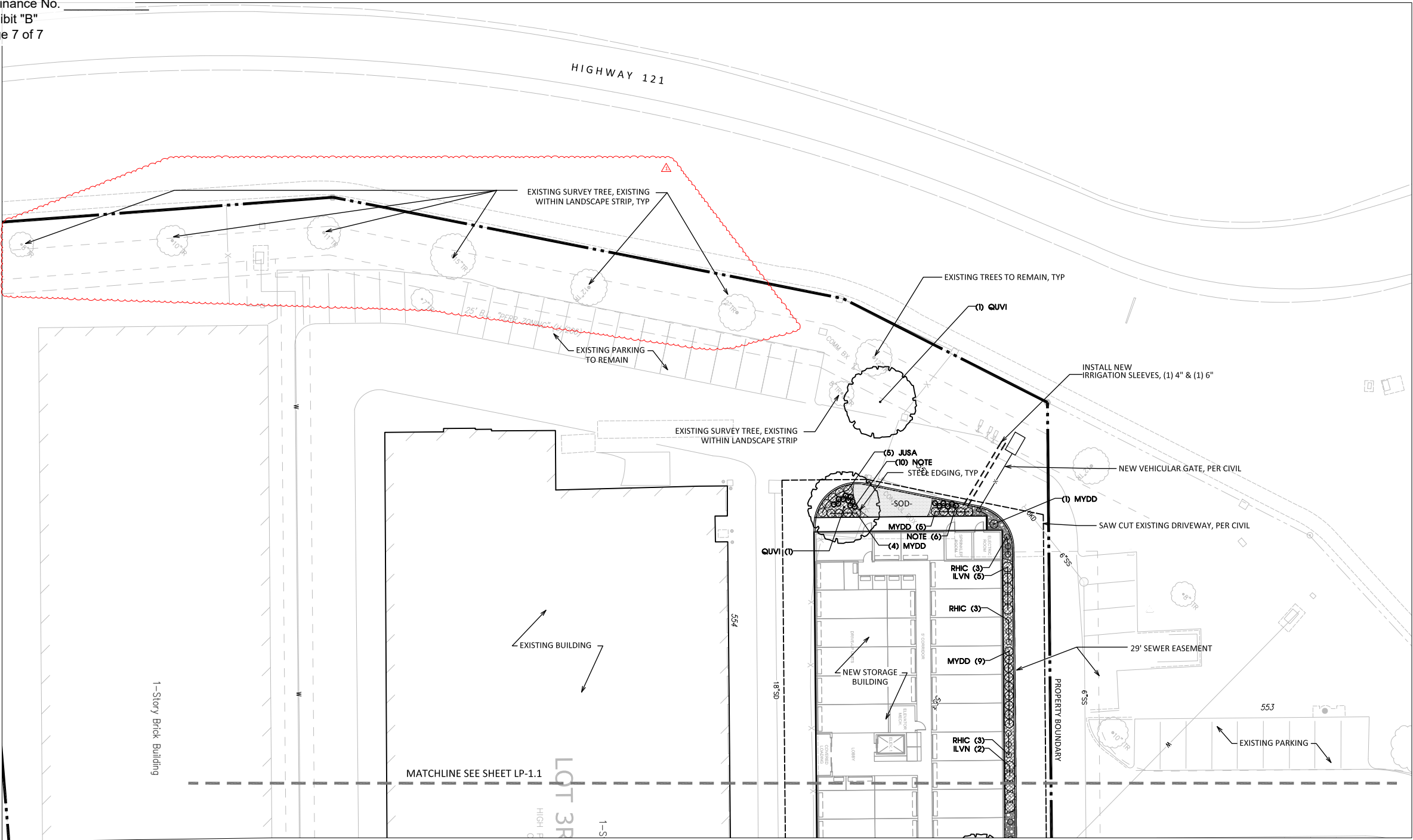


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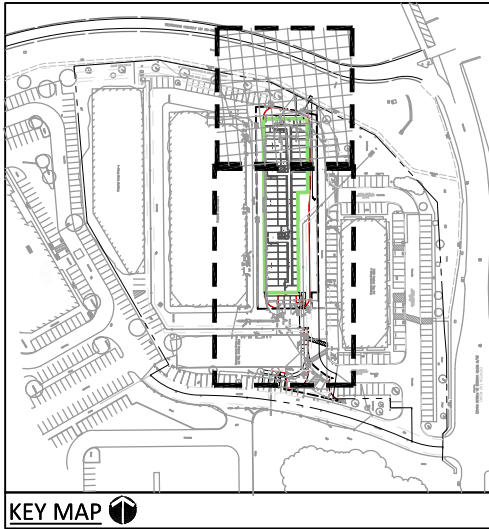


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VICINITY MAP
 SCALE: 1" = 1000'



LEGEND	
	TURF SOD
	RIVER ROCK
	DECOMPOSED GRANITE
	MULCH BED
	EXISTING PLANTS
	EXISTING SURVEY TREES, TYP

