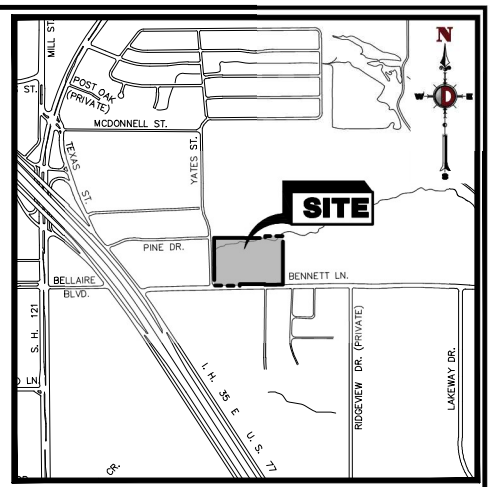
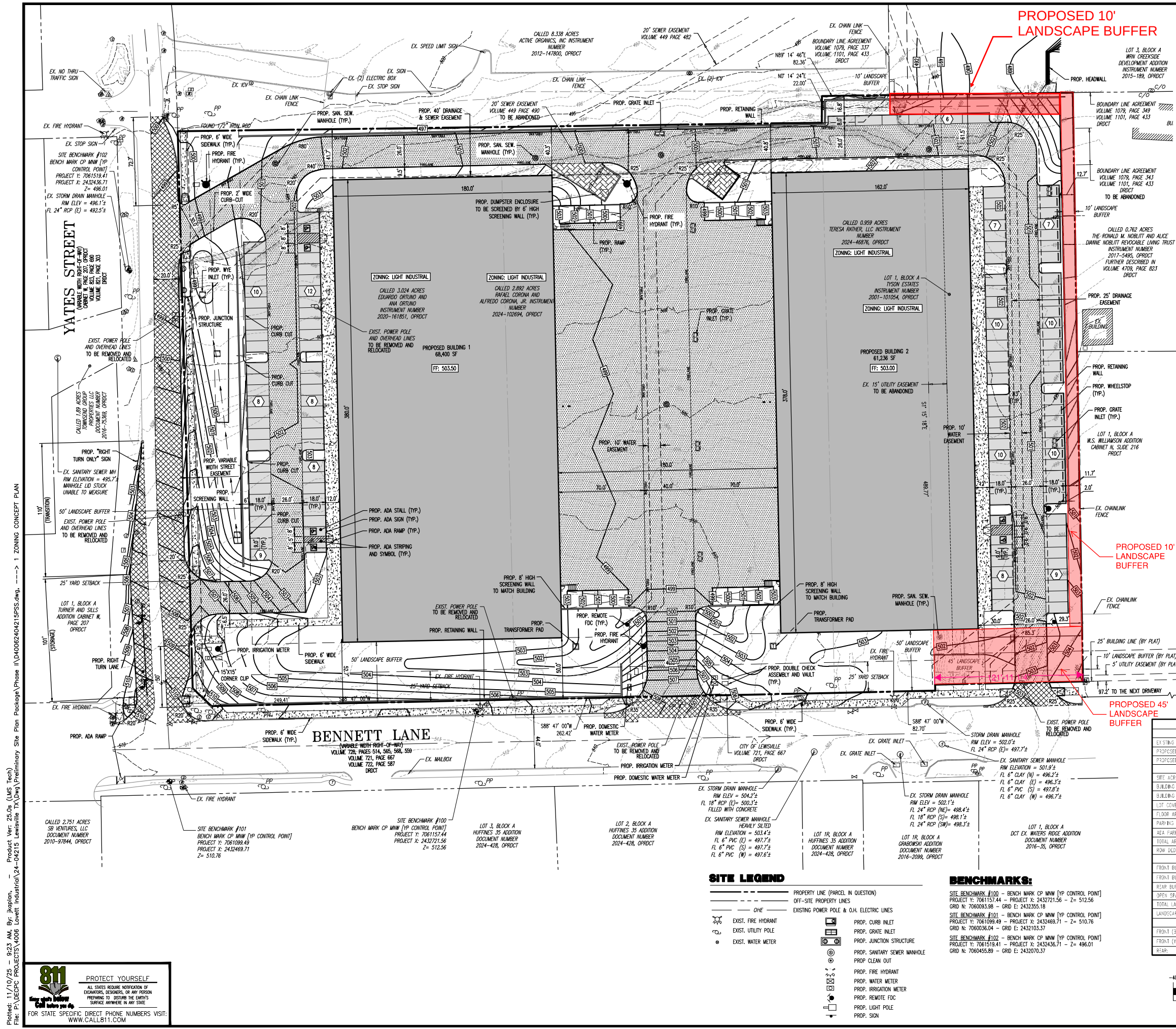


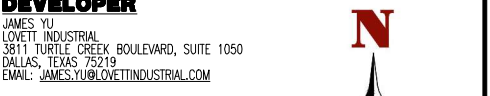


VICINITY MAP
SCALE: 1" = 1,000'

NOTE:
1. THE NORTHERN WEST BOUND LANE ALONG BENNETT WILL BE STRIPED TO A RIGHT TURN LANE ONLY DURING THE ENGINEERING SITE PLAN PROCESS.

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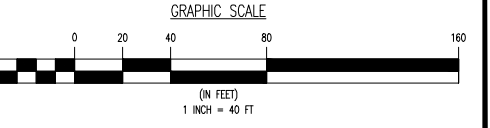


PAVING LEGEND

	- PROPOSED HEAVY DUTY PAVEMENT
	- PROPOSED PAVEMENT
	- PROPOSED SIDEWALK
	- PROPOSED PUBLIC PAVEMENT
	- PROPOSED DUMPSTER

SITE DATA TABLE

ZONING	REQUIRED	PROVIDED
EXISTING ZONING:	ASR CULTURAL, OPEN SPACE / LIGHT INDUSTRIAL	PROVIDED
PROPOSED ZONING:	LI-IT INDUSTRIAL	PROVIDED
PROPOSED USE:	WAREHOUSE DISTRIBUTION OR MANUFACTURING	PROVIDED
GENERAL:	REQUIRED	PROVIDED
SITE ACRES:	-	8.335 ACRES
BUILDING AREA:	-	22,839 SF
BUILDING HEIGHT:	69 FT (MAX.)	40 FT
LOT COVERAGE:	N/A	2,976 ACRES/36.14%
FLOOR AREA RATIO:	-	0.360
PARKING (1 SPACE PER 2,000 SF):	65	132 STALLS
ADA PARKING SPACES:	5	6
TOTAL AREA OF PARKING LOT:	-	25,562 SF
ROW DEDICATION AREA:	REQUIRED	PROVIDED
LANDSCAPE:	REQUIRED	PROVIDED
FRONT BUFFER (BENNETT LN):	50 FT	50 FT
FRONT BUFFER (YATES ST):	50 FT	50 FT
REAR BUFFER:	NONE	10 FT
OPEN SPACE AREA:	17,035 SF	20,187 SF
TOTAL LANDSCAPED AREA:	13,126 SF	74,953 SF (1,721 AC.)
LANDSCAPED AREA (EXCLUDING BUFFERS):	13,126 SF	21,855 SF (0.502 AC.)
BUILDING SETBACK:	REQUIRED	PROVIDED
FRONT (BENNETT LN):	25 FT	25 FT
FRONT (YATES ST):	15 FT	25 FT
REAR:	NONE	NONE



SITE LEGEND

	PROPERTY LINE (PARCEL IN QUESTION)
	OFF-SITE PROPERTY LINES
	EXISTING POWER POLE & O.H. ELECTRIC LINES
	EXIST. FIRE HYDRANT
	EXIST. UTILITY POLE
	EXIST. WATER METER
	PROP. CURB INLET
	PROP. GRATE INLET
	PROP. JUNCTION STRUCTURE
	PROP. SANITARY SEWER MANHOLE
	PROP. CLEAN OUT
	PROP. FIRE HYDRANT
	PROP. WATER METER
	PROP. IRRIGATION METER
	PROP. REMOTE FDC
	PROP. LIGHT POLE
	PROP. SIGN

BENCHMARKS:

SITE BENCHMARK #100 - BENCH MARK CP MINN [VP CONTROL POINT]
PROJECT Y: 7061157.44 - PROJECT X: 2432721.56 - Z= 512.56
GRID N: 7060035.98 - GRID E: 2432355.16

SITE BENCHMARK #101 - BENCH MARK CP MINN [VP CONTROL POINT]
PROJECT Y: 7061099.49 - PROJECT X: 2432469.71 - Z= 510.76
GRID N: 7060036.04 - GRID E: 2432103.37

SITE BENCHMARK #102 - BENCH MARK CP MINN [VP CONTROL POINT]
PROJECT Y: 7061519.41 - PROJECT X: 2432436.71 - Z= 496.01
GRID N: 7060455.89 - GRID E: 2432070.37

Plotted: 11/10/25 - 9:23 AM By: jkoplom Product Ver: 25.0a (LMS Tech) File: P:\DEPCP PROJECTS\4006 Lovett Industrial\24-04215 Lewisville TX\DWG Preliminary Site Plan Package\Phase II\040062404215PSS.dwg, -----> 1. ZONING CONCEPT PLAN

811
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PROFESSIONAL ENGINEER
TEXAS LICENSE NO. 107537

TITLE: ZONING CONCEPT PLAN

SCALE: (H) 1" = 40' (V) DATE: 11/10/2025
PROJECT No: TBD SHEET No: 1 Rev. #: 0

P AINT

	P-1 - WHITE		P-4 - DARK GRAY
	P-2 - LIGHT GRAY		
	P-3 - MEDIUM GRAY		



TOTAL SQUARE FOOTAGE: 7,266 SF

STONE / MASONRY:	2,047 SF (28%)
CONCRETE:	4,405 SF
DOORS:	24 SF
STOREFRONT:	445 SF
STUCCO:	257 SF
HANGING SEAM METAL AWNING:	88 SF



TOTAL SQUARE FOOTAGE: 7,266 SF
STONE / MASONRY: 1,990 SF (27%)

CONCRETE: 4,113 SF
DOORS: 81 SF
STOREFRONT: 650 SF
STUCCO: 257 SF
STANDING SEAM METAL AWNING: 175 SF

OVERALL BUILDING LENGTH: 180' - 0"
OVERALL CANOPY LENGTH: 70' - 0" (39%)

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PRJ. NO: _____
 SUBJECT ISSUED: 202 _____
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Schematic Design (S

OVERALL EXTERIOR ELEVATIONS 2

A202

11/4/2025 3:29:35 PM Autodesk Docs/25.010 Louisville Bennett 30/25.010_DDS_Louisville Bennett 35_Pkg_Building 2.rvt

INTERIOR ELEVATION MATERIALS LEGEND

PAINT

P-1 - WHITE
P-2 - LIGHT GRAY
P-3 - MEDIUM GRAY
P-4 - DARK GRAY

FORMLINER

FL-1 - STACKED WOOD
FORMLINER (PAINT P-3)

STONE VENEER

SV-1 - STACKED TEXAS
STONE VENEER (LIGHT &
MEDIUM GRAY)
ALT. CONCRETE STONE
FORMLINER

STUCCO PARAPET CAP

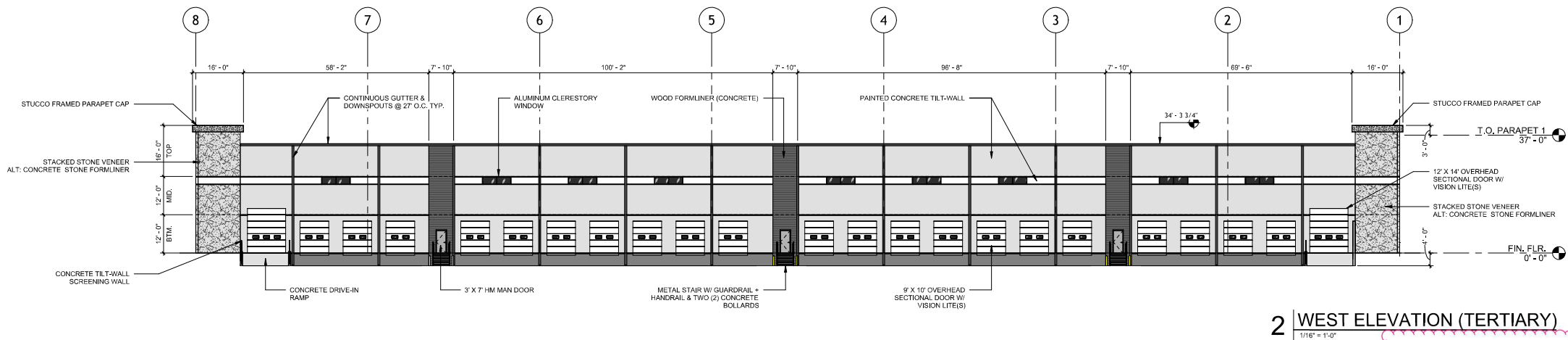
ST-1 - FRAMED STUCCO
PARAPET CAP (PAINT P-4)

CURTAINWALL / STOREFRONT

SF-1 - ANODIZED FINISH -
MATTE BLACK

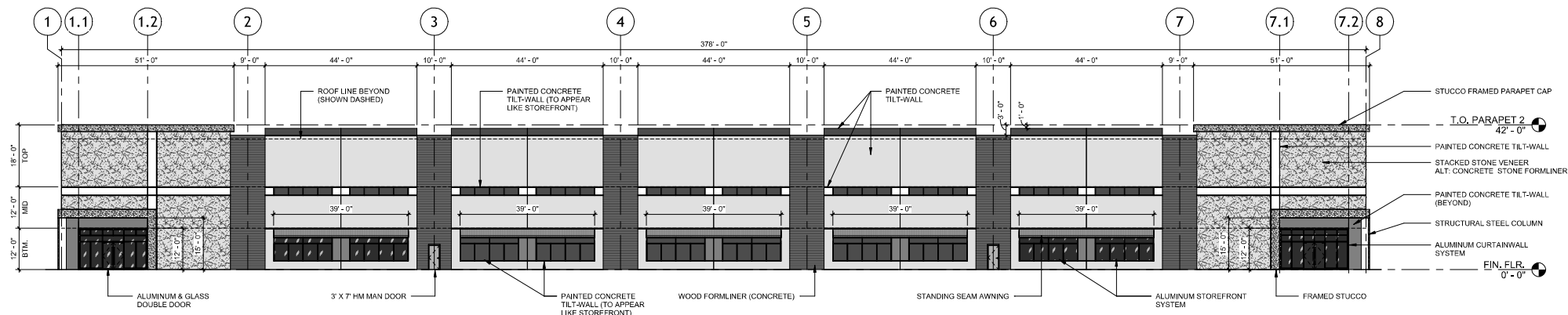
EXTERIOR GLAZING

GL-1 - EXTERIOR VISION
GLAZING



2 WEST ELEVATION (TERTIARY)
1/16" = 1'-0"

WEST ELEVATION MATERIAL CALCULATIONS	
TOTAL SQUARE FOOTAGE:	14,529 SF
STONE / MASONRY:	994 SF (7%)
CONCRETE:	10,941 SF
DOORS:	2,300 SF
STOREFRONT:	203 SF
STUCCO:	64 SF



1 EAST ELEVATION (SECONDARY)
1/16" = 1'-0"

EAST ELEVATION MATERIAL CALCULATIONS	
TOTAL SQUARE FOOTAGE:	15,519 SF
STONE / MASONRY:	2,600 SF (17%)
CONCRETE:	11,014 SF
DOORS:	49 SF
STOREFRONT:	945 SF
STUCCO:	422 SF
STANDING SEAM METAL AWNING:	489 SF

OVERALL BUILDING LENGTH: 378' - 0"
OVERALL CANOPY LENGTH: 195' - 0" (52%)

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ARCHITECT: Whys Chds
ARCH. REG. NO: XXXXXX
DATE: MAY 23, 2025

REVISIONS	
NO.	DATE DESCRIPTION

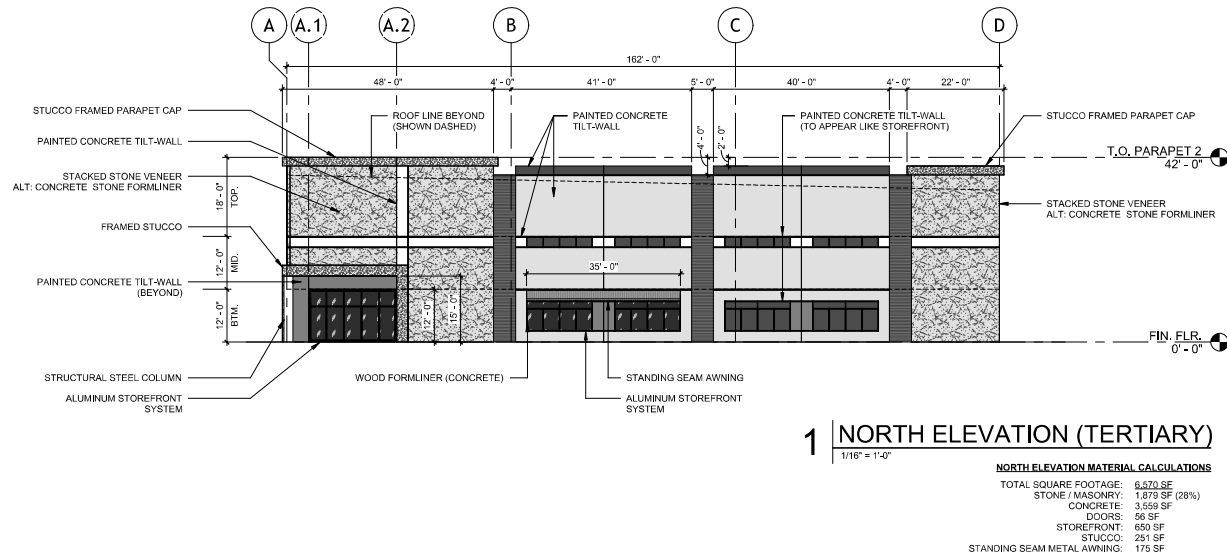
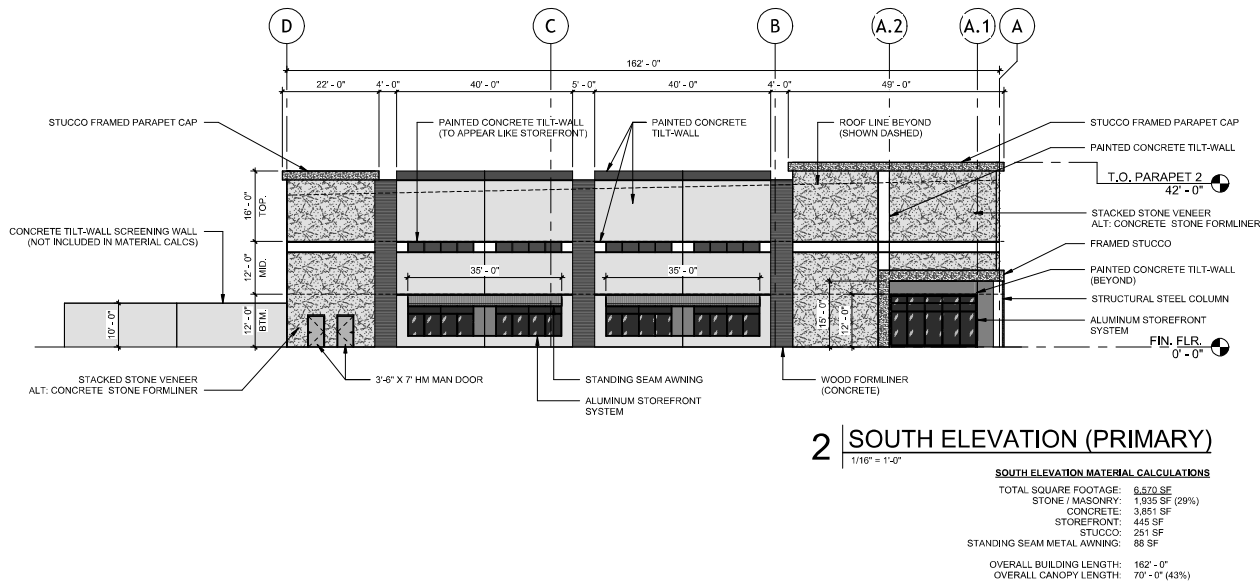
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CHECKED BY: DDS
DDS PROJ. NO: 25.010
PROJECT ISSUED: 2025.10.06
SHEET ISSUED: MAY 23, 2025

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OVERALL EXTERIOR
ELEVATIONS 1

INTERIOR ELEVATION MATERIALS LEGEND

PAINT	FORMLINER	STONE VENEER	STUCCO PARAPET CAP	CURTAINWALL / STOREFRONT	EXTERIOR GLAZING
P-1 - WHITE	FL-1 - STACKED WOOD FORMLINER (PAINT P-3)	SV-1 - STACKED TEXAS STONE VENEER (LIGHT & MEDIUM GRAY) ALT: CONCRETE STONE FORMLINER	ST-1 - FRAMED STUCCO PARAPET CAP (PAINT P-4)	SF-1 - ANODIZED FINISH - MATTE BLACK	GL-1 - EXTERIOR VISION GLAZING
P-2 - LIGHT GRAY					
P-3 - MEDIUM GRAY					
P-4 - DARK GRAY					



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ARCHITECT	Whys Chids
ARCH. REG. NO.	XXXXXX
DATE	MAY 23, 2025

REVISIONS	NO.	DATE	DESCRIPTION

DRAWN BY:	DDS
CHECKED BY:	DDS
DDS PROJ. NO:	25.010
PROJECT ISSUED:	2025.10.06
SHEET ISSUED:	MAY 23, 2025

Schematic Design (SD)

OVERALL EXTERIOR
ELEVATIONS 2

A202