ENGINEERING SITE PLAN

sam's club >>

FUEL STATION #6381 751 W. MAIN ST., LEWISVILLE, TX 75067 LOT 4 - R1R, BLOCK C **VALLEY RIDGE BUSINESS PARK WEST** 0.750 ACRES ZONED GENERAL BUSINESS **REQUESTED USE: GASOLINE SERVICE STATION**

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APPROVED FOR CONSTRUCTION *						
CITY DEPARTMENT	DATE	SIGNATURE				
PLANNING AND ZONING						
ENGINEERING						
BUILDING INSPECTION						
FIRE PREVENTION						
PUBLIC SERVICES						
ADA						
PARKS						

	APPROVED FOR CONSTRUCTION *							
UTILITY	COMPANY	DATE	SIGNATURE					
ELECTRIC	TEXAS N.M. POWER CO							
GAS	TXU GAS							
TELECOMMUNICATION	VERIZON							
CABLE	PARAGON CABLE							
SOLID WASTE	TEXAS WASTE MNGT.							

^{*} SIGNATURES NEEDED FOR APPLICABLE COMPANY ONLY

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	OLD ORCHARD LN	*	Z SUMMIT ANE	SITE LOCATION W MAIN ST
	W MAIN ST	VALLEY PKWY	W RURNELL RD	W PURNELL RD
		FOX		35)

1" - 1000'

PROJECT TEAM

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SCOPE OF WORK

Kimley»Horı

NOT FOR CONSTRUCTION

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PLOT DATE 10/2/2024

SHEET

SAM'S CLUB FUEL STATION #6381
751 W. MAIN ST.
LEWISVILLE, TX
0.750 ACRES ZONED GENERAL BUSINESS PARK WEST
REQUESTED USE: GANCOLINE STRAWFT ET S

SHEET NUMBER C1.0

PROJECT INCLUDES DEMOLITION OF EXISTING HARD—SCAPE, CONCRETE CURB AND GUITER, UNDERGROUND STORM DRAIN UTILITIES AND RELOCATION OF EXISTING STORM DRAIN STRUCTURES FOR THE PROPOSED FUEL STATION EXPANSION. FUEL STATION EXPANSION ONNISTS OF 2 NEW FUEL STATION UNITY OF 3 NEW CONCRETE PAXEMENT SURROUNDED BY ASPHALT PAXEMENT AND NEW CURBED LANDSCAPE ISLANDS TO IMPROVE TRAFFIC FLOW THROUGHOUT THE SITE.

GENERAL NOTES

- 1. THE CONTRACTOR AND SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL STATE AND LOCAL REQUIREMENTS RELATED TO SITE CONSTRUCTION ACTIVITIES PRIOR TO COMMENCING WORK. ALL WORK SHALL CONFORM AS APPLICABLE TO THESE GOVERNING STANDARDS AND SPECIFICATIONS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- 3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER, GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTRELY ACCURATE, FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY, FURTHERMORE, THE CONTRACTOR'S SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PERSERVE ANY AND ALL DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OFERATIONS IN THE WINITY OF EXISTING UTILITIES. THE OWNER OR REPORTER WILL ASSUME NO LABBILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OFERATIONS IN THE WINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSAY'T OS SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- 5. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- 6. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF TEXAS DEFICITION THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS—BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS—BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED, ALL AS—BUILT DATA SHALL BE COLLECTED BY A STATE OF TEXAS PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- 9. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- 10. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SI WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- 4. ANY EXISTING UTILITY, WHICH IS TO BE EXTENDED, WHICH IS THE CONNECTION POINT FOR NEW UNDERGROUND UTILITIES, OR WHICH NEW FACILITIES CROSS, SHALL BE EXPOSED BY THE CONTRACTOR PRIOR TO PLACEMENT OF THE NEW UTILITIES. COST OF SUCH EXCAVATION AND SUBSEQUENT BACKFILL SHALL BE INCLUDED IN THE PRICES PAID FOR THE VARIOUS ITEMS OF WORK INSPECTOR AND THE EXISTING FACILITIES WILL BE CHECKED BY THE PUBLIC WORKS INSPECTOR AND THE ENGINEER. IF IN THE OPINION OF THE INSPECTOR A CONFLICT EXISTS, THEN THE ENGINEER SHALL MAKE ANY NEEDED GRADE AND/ OR ALIGNMENT ADJUSTMENTS AND REVISE THE PLANS ACCORDINGLY. ALL GRANTY FLOW PIPELINES TO BE LAID UPGRADE FROM THE LOWEST POINT STARTING AT THE END OF EXISTING MIRROYMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.

PAVING, GRADING, AND DRAINAGE NOTES

- 1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OF NOTCOG SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- 2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND REPAIRED TO EXISTING CONDITION OR BETTER.
- 3. TRAFFIC CONTROL ON ALL TXDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL AN ADEQUATE STABILIZATION OCCURS.
- 5. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED IN THE DRAWINGS.
- 6. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOIN AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED IN THE DRAWINGS.
- 7. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- 8. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- 9. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- 10. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY, AND PER THE PROJECT SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
- 11. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE STABILIZED BY MEANS AND METHODS APPROVED BY THE LOCAL AGENCY. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE COVERED WITH ROCK OR MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION
- 3. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH WIGHTES THE WATER QUALITY STANDARDS OF THE GOVERNING CODE.
- 14. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE REQUIRED PERMITS COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICA GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY GOVERNING JURISDICTIONS.
- 15. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- 16. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK
- 17. ALL PAVEMENT SPOT GRADE ELEVATIONS WITHIN OR ALONG THE CURB REFER TO THE EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- 18. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERMSE NOTED, GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPING, AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPING AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CU TO ESTABLISH SUBGRADE ELEVATIONS.
- 19. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- 20. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2.0% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES UNLESS OTHERWISE NOTED.
- 21. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- 22. THE CONTRACTOR SHALL ENSURE THE PROPOSED PAVED AREAS MATCH THE EXISTING DRAINAGE PATTERN AND DRAIN AWAY FROM THE BUILDING AS INDICATED IN THE PLANS.
- 23. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.

PROJECT GEOTECHNICAL REPORT

A GEOTECHNICAL REPORT DATED DECEMBER 28, 2023, WAS PREPARED BY ALPHA TESTING ,LLC. WITH OFFICES LOCATED AT 2209 WISCONSIN STREET DALLAS, TX 75229/(972) 620 8911, FOR PROPOSED SAM'S CLUB FUEL CENTER #6381, LEWISVILLE, DENTON COUNTY, TEXAS, AS ALPHA TESTING PROJECT NO. G232812. CONTACT PERSON:DAVID E. SCHLEDORN, P.E.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUB-CONTRACTO(S) TO OBTAIN A COPY OF THE GEOTECH REPORT MENTIONED HEREIN, TO REVIEW IT WITH ALPHA TESTING TO UNDERSTAND ITS CONTENTS AND TO FOLLOW THE RECOMMENDATIONS OF THE PAD PREP NOTE PRESENTED HEREON PRIOR TO THE BEGINNING OF ANY CONSTRUCTION ACTIVITIES WITHIN THE PROJECT SITE.

REPORT INFORMATION

GEOTECH REPORT: REFER TO GEOTECHNICAL REPORT DATED DECEMBER 28, 2023, BY ALPHA TESTING, LLC. (ALPHA REPORT NO. G232812

GENERAL GRADING NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- . ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- 3. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- 4. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
- 5. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EROSION CONTROL AND SEDIMENTATION PLAN FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND STORM WATER POLLUTION PREVENTION.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- 5. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NO ACCEPT EXISTING TOPOGRAPHIY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE GRAVEL MULCH. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VECETATION IS OBTAINED.
- 10 CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME
- 11. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
- 12. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY.

 TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

UTILITY NOTES

- 1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- 2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- 3. WATER PIPE SIZE AND MATERIAL REFER TO PLANS AND CONSTRUCTION NOTES.
- 4. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.

MINIMUM OF 18" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).

- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE
 TO OUTSIDE EDGE OF PIPE) UNLESS SHOWN OTHERWISE AND APPROVED BY CITY INSPECTOR.
- 6. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- B. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- 9. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- 10. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- 11. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES AND WALMART STANDARDS, WHICHEVER IS MOST STRINGENT, WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- 12. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO POSSESSION
- 13. CONTRACTOR SHALL COORDINATE WITH ALL LITHITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS
- 14. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, CLEANOUTS, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMEN MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL, AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENT, THE MOST STRINGENT SHALL GOVERN.
- 15. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- 16. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- 17. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFLITRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAWITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

LEGEND

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ING	FF	FINISH FLOOR
	FS	FINISH SURFACE
NS IN	FG	FINISH GRADE
F	GB	GRADE BREAK
E AL	HP	HIGH POINT
IG	INV	INVERT
IG	LP	LOW POINT
	PL	PROPERTY LINE
	R/W	RIGHT-OF-WAY
CUT	SD	STORM DRAIN
	TC	TOP OF CURB
١.	TYP	TYPICAL

ALERT TO CONTRACTOR:

- . THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BIO SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
- ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

ALERT TO CONTRACTOR

 THE SITEWORK FOR THE WALMART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS."

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SPECIFICATIONS."

2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.

3. ATTENTION IS DRAWN TO THE POSSIBILITY DRAWING SCALE MAY SEE DISTORTED DURING REPRODUCTION.

DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARRING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- 3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE
 CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S
 FORCES AND, ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL
- 4. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIETY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- 5. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
- 6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CONSTRUCTION MANAGER.
- 7. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
 SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, CART CORRAL, LIGHTING AND/OR UTILITY STRUCTURES, OR ANY OTHER EXISTING SITE ITEM, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS
- 10. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR
- 11. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURIN CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- 2. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXISTING IRRIGATION SYSTEM IN THE AREAS OF PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL CANTINUE TO FUNCTION DECORATION SYSTEM SHALL CONTINUE TO FUNCTION DECORATION.
- 14. THE CONTRACTOR SHALL COORDINATE SANITARY SEWER WORK WITH THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS.
- 15. CONTRACTOR SHALL REPLACE ALL PROPERTY MONUMENTATION THAT IS DAMAGED OR DESTROYED DURING CONSTRUCTION.
- 16. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES TO BE PROTECTED UNLESS OTHERWISE NOTED.
- 17. CONTRACTOR SHALL ADJUST TO GRADE OF ANY EXISTING UTILITIES TO REMAIN.
- 18. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE EXISTING WAL-MART AT ALL TIMES (WHILE STORE IS OPEN FOR CUSTOMERS). UTILIT SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION THROUGH THE STORE MANAGER OR OUTLOT USERS.
- 19. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. (OUTSIDE OF TEMPORARY FENCING) CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM EITHER THE EXISTING OR PROPOSED WALMART (DEPENDING ON THE PHASE OF CONSTRUCTION ACTIVITY WITHIN PROXIMITY OF THE BUILDING AND UTILITY INTERRUPTIONS WITH THE STORE MANAGER TO MINIMIZE DISTURBANCE AND INCONVENIENCE TO STORE OPERATION AND THE CUSTOMERS.
- 20. CONTRACTOR MUST COORDINATE WITH CONSTRUCTION MANAGER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.
- 21. DEMOLITION AND REMOVAL OF PAVEMENT INCLUDES PAVEMENT THICKNESS AS WELL AS BASE COURSE THICKNESS.

DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.

- 22. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIAL.
- 23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK
- 24. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
- 25. CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS FROM THE SITE AS WORK PROGRESSES.
- 26. THE DRAWINGS MAY NOT INDICATE IN DETAIL ALL DEMOLITION WORK TO BE PERFORMED. THE CONTRACTOR SHALL EXAMINE EXISTING CONDITIONS TO DETERMINE THE FULL EXTENT OF DEMOLITION.
- 27. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
- 28. CONTRACTOR TO INSTALL CHAIN LINK FENCE WITH MESH SCREEN TO PROTECT PUBLIC FROM ENTERING CONSTRUCTION AREA.

Kimley» Horn

BIAG WARREN PARKEN' SLITE 210 FRESCO, TX 75034
PRONE 172-335-3606

7 2 7

4 4 4

NOT FOR CONSTRUCTION

PLOT DATE 10/2/2024 SCALE AS SHOWN DESIGNED BY AF DRAWN BY AF

ENERAL NOTES

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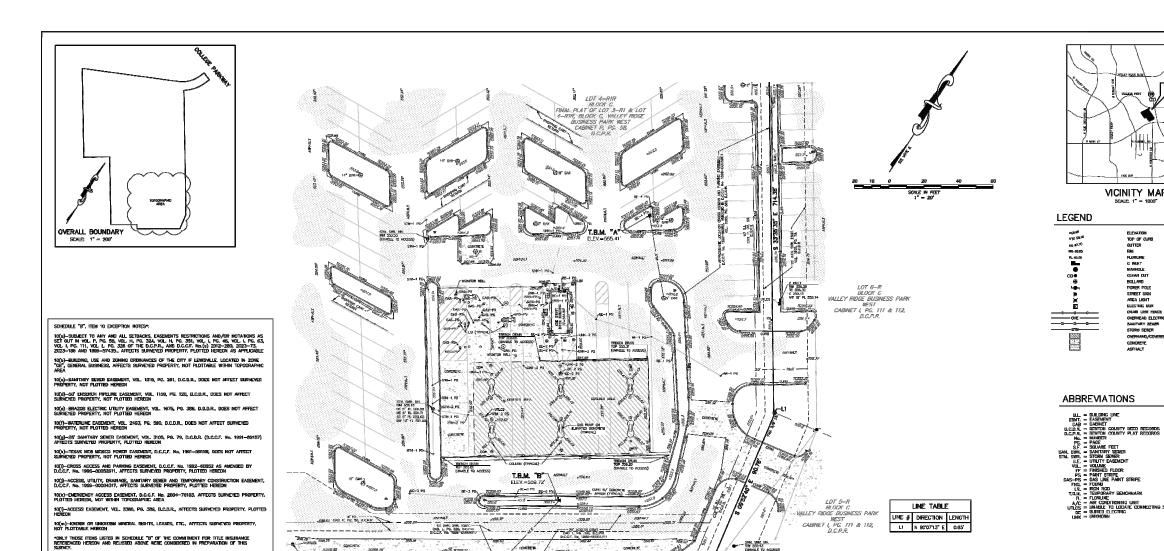
SAM'S CLUB FUEL STATION #6381 751 W. MAIN ST. LEWISVILLE, TX LOT4-REBLOXCI JALLEY RIDDE BUSINESS PARK WEST

SHEET NUMBER

C1.1

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley—Horn and Associates, Inc. shall be without liability to Kimley—Horn and Associates, Inc.

Plotted By: Avila, JesusM Sheet Set: Kha Layout: GENERAL NOTES October 02, 2024 03:17:15pm K:\ORA_LDEV\Wall Mart\sam's fuel\traffic flow projects\tx — lewisville 6381\CAD\plansheets\COVER SHEET.dwg



BENCHMARK

FLEV. 666.79*

ines film choixed reing a renormany does stamped in the 1946 at ancour, denoting country, for first does to the teams and pacific raliany statuds, on ils inchmay statuds, or ils inchmay statuds of the inchmay and listel with the nest inchmal.

TEMPORARY BENCHMARK (T.B.M.) "A" ELEV. 555.41" BERNE A BOTH-OUT IS THE DISCRETE BACK OF AN AREA LIGHT LOCATED APPROXIMATELY AND THE TRACET OF A 6 BIRCH GAS THE AND 12.8 FEET WEST OF A 6 BIRCH GAS THE AND 12.8 FEET WEST OF A FEET ON THEE, AS SHOWN ON SURVEY, (MAND 88)

TEMPORARY BENCHMARK (T.B.M.) "B" ELEV. 559.72' BEING A BOX-OUT IN THE CONCRETE BASE OF AN AREA LIGHT LOCATED APPROXIMATELY A3.2 FEET EXPENDENT OF AN AREA LIGHT, AS SHOWN ON SURVEY.

TO: WAL-MART STORES, INC.

REMISED APPRIL 10, 2024 TO AND TITLE MFD HEMISED ALLY 20, 2024 TO UPDATE REPERULE BATE. DR/TY/28 SALE: 1" - 20" BRANN BY: BJIL/N.P. CHECKED BY: M.H. PROJECT NO.: CS 23122

VICINITY MAP

ELEVATION
TOP OF CUPS
GUTTER
GM
ELDSUME
ELDSUM

ABBREVIATIONS

PARTIAL TOPOGRAPHY SURVEY

LOT 4-RIR, BLOCK C, OF THE FINAL PLAT OF LOT 3-RI & LOT 4-RIR, BLOCK C, VALLEY RIDGE BUSINESS PARK WEST, A SUBDIVISION OF RECORD IN CABINET P, PAGE 58, OF THE DENTON COUNTY PLAT RECORDS

JESSE WATKINS SURVEY

ABSTRACT NO. 1323
BOI W. MAIN STREET, LEWISVILLE
DENTON COUNTY, TEXAS 75087

Civil-Surv

Land Surveying,LLC

Kimley » Horr ARREN PARKWAY SUITE 210 FRISCO, PHONE: 972-335-3680 WWW.KMLEY-HORN.COM

> NOT FOR CONSTRUCTION

PLOT DATE 10/2/2024

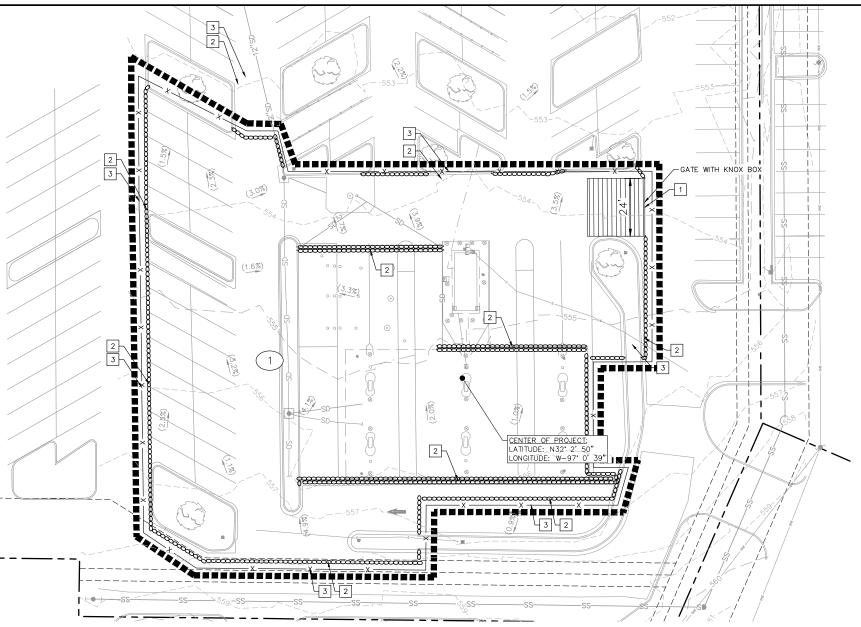
SURVEY TOPOGRAPHIC

STATION #6381 FUEL ST. SAM'S CLUB F 751 W. MAIN S LEWISVILLE, 1 1074-RR BLOCK CIVALE 0.750 ARRES ZONED GENERAL RECUESTED USE: GASOLINE ER

SHEET NUMBER C2.0

NOTE

THIS SURVEY INFORMATION WAS PROVIDED BY OTHERS AND IS INCLUDED FOR REFERENCE ONLY. THE DESIGN TEAM DID NOT PREPARE OR VERIFY THIS INFORMATION AND IS RELYING ON IT TO BE ACCURATE.



EROSION AND SEDIMENTATION CONTROL PLAN

NOTES

- THERE ARE NO WETLANDS PRESENT ON THIS SITE.
- CONTRACTOR TO ENSURE PONDING DOES NOT OCCUR IN PUBLIC ROW AT ANY TIME DURING CONSTRUCTION.

 CONTRACTOR TO INSTALL BMPS AS NECESSARY IN EACH PHASE TO PREVENT SEDIMENT FROM LEAVING EACH
- 4. NO STAGING OR STORAGE ALLOWED IN DETENTION POND. ANY AREA USED FOR SOIL STORAGE TO HAVE SILT FENCE INSTALLED AROUND PERIMETER OF THE PILE

FLOOD NOTE

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF LEWSVILLE, DENTON COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 480195, DATED APRIL 18, 2011, INDICATES THAT THIS TRACT IS WITHIN ZONE "X" UNSHADED, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGES FLOODPLAIN, AS SHOWN ON MAP AND PANEL NO. 4812TOSAG, WARRING: IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOOD CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIVABILITY ON THE PART OF THE ENGINEER OF

BENCHMARK

NGS PID# DN0706 BEING A BENCHMARK DISK STAMPED 'N 946 1946' AT ARGYLE, DENTON COUNTY, 86 FEET EAST OF THE TEXAS AND PACIFIC RAILWAY STATION, ON U.S. HIGHWAY 377, AT A CONCRETE CULVERT, IN THE TOP OF THE NORTH END OF THE WEST HEADWALL, 27 FEET WEST OF THE CORTRELINE OF THE HIGHWAY, AND LEVEL IN THE THE HIGHWAY, MAND LEVEL WITH THE HIGHWAY, MAND BES

LATITUDE: N33° 2' 50 LONGITUDE: W-97' 0' 39"

LIMITS OF DISTURBANCE

CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FLIMINATE TRACK-OUT FROM THE AREAS WITHIN THE LIMITS OF DISTURBANCE. NO STOCKPILING, TEMPORARY STORAGE OR STAGING OF EITHER NEW, SALVAGED OR WASTE MATERIAL SHALL BE ALLOWED BEYOND THE LIMITS OF BMP PROTECTED AREAS. AREAS BEYOND BMP LIMITS BUT WITHIN THE LIMITS OF DISTURBANCE MAY BE USED FOR CONTRACTOR PARKING. ANY GROUND DISTURBING ACTIVITIES BEYOND THE DEFINED LIMITS OF DISTURBANCE ARE STRICTLY PROHIBITED.

ALERT TO CONTRACTOR:

- THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED AS INDICATED IN THE GEOTECHNICAL REPORT FOR THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE.
 WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE
 DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
- ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

RIOR TO CONSTRUCTION, GC MUST CLEARLY DELINEATE AND MARK OFF AREAS IDENTIFIED IN THE SWPF OR IN THE FIELD, TO BE PROTECTED (SUCH AS, NATURAL BUFFERS, TREES, HABITATS OF ENDANGERED/THREATENED SPECIES, HISTORIC PROPERTIES, ETC.)

PHASE 1 — DEMOLITION

A. INSTALL PERIMETER BMPs INCLUDING GRAVEL BAGS AND ALL OTHER NECESSARY BMPs ACCORDING TO THE LOCATION SHOWN ON THE EROSION CONTROL PLAN. CLEAR ONLY THE MINIMUM AREA REQUIRED TO INSTALL BMPs. SET THE PROJECT OFFICE TRAILER (IF NECESSARY) AND PREPARE TEMPORARY PARKING AND STORAGE AREAS.
DENOTE DATE OF BMPs INSTALLATION AND MAINTENANCE ON SITE—MAPS.
BEGIN DEMOLITION AND CLEARING OF THE LIMITS OF DISTURBANCE.

THE PROJECT SHALL GENERALLY CONFORM TO THE FOLLOWING PHASING SCHEDULE. REFERENCE THE TPDES GENERAL PERMIT FOR DETAILED

CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

INFOUGHOUT ALL PHASES OF CONSTRUCTION.

BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.

SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.

CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH SWPPP IMPLEMENTATION SEQUENCE, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

ALL DENUDED/BARE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE

DISTURBED PORTIONS OF THE SITÉ WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND/OR VEGETATED IMMEDIATELY, AND COMPLETED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. TEMPORARY AND/OR PERMANENT STABILIZATION SHALL BE APPLIED PER REQUIREMENTS IN THESE E&S CONTROL NOTES.

DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF—SITE. ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE SITE PLANS.

STORM WATER POLLUTANT CONTROL MEASURES INSTALLED DURING CONSTRUCTION, THAT WILL ALSO PROVIDE STORM WATER MANAGEMENT AFTER CONSTRUCTION, ARE INCLUDED IN THE CONTRACT DOCUMENTS. THE SITE—SPECIFIC POST CONSTRUCTION STORM WATER MANAGEMENT AFTER CONSTRUCTION, ARE INCLUDED IN THE CONTRACT DOCUMENTS. THE SITE—SPECIFIC POST CONSTRUCTION STORM WATER MANAGEMENT AND

MAINTENANCE (O&M) MANUAL IS INCLUDED IN THE CONTRACT DOCUMENTS.

ALL PERMANENT CONTROLS AND SYSTEMS MUST BE INSTALLED AND FUNCTIONING AS DESIGNED AND FREE OF ACCUMULATED SEDIMENT AND DEBRIS DURING FINAL PROJECT INSPECTION AND APPROVAL.

FIBERS, TACKIFIERS, NETTING AND/OR BLANKETS. COMPLETION MUST BE ACHIEVED WITHIN 7 DAYS.
DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS

EROSION CONTROL SCHEDULE AND PHASING

STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WHENEVER CLEARING, GRADING, OR EARTH DISTURBING ACTIVITIES HAVE CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED AND WILL NOT RESUME WITHIN 14 DAYS PER GENERAL PERMIT REQUIREMENTS

- PHASE 2 GRADING

 A. ENSURE APPROPRIATE BMPs ARE IN PLACE DOWNSTREAM OF SITE WORK OR WHERE RUNOFF MAY EXIST THE SITE.

 B. BEGIN GRADING THE SITE.

 C. SEED_AND_RE—VEGETATE_SLOPES AS AREAS ARE BROUGHT TO GRADE OR STOCKPILES THAT WILL REMAIN INACTIVE FOR 14 DAYS PER GENERAL PERMIT REQUIREMENTS

PHASE 3 - PAVING

LEGEND

(X.X%)

— PROPERTY LINE EASEMENT LINE

PROPOSED LIMITS OF DISTURBANCE

EXISTING STORMDRAIN

ROCK SOCK SEDIMENT CONTROL TEMPORARY CONSTRUCTION FENCE CONSTRUCTION ENTRANCE / EXIT

1 RUMBLE STRIP CONSTRUCTION ENTRANCE/EXIT PER DETAIL 1, SHEET C3.1

GENERAL EROSION AND SEDIMENT CONTROL NOTES

2 ROCK SOCK SEDIMENT CONTROL PER DETAIL 3, SHEET C3.1.

TEMPORARY CONSTRUCTION FENCE PER DETAIL 2, SHEET C3.1.

DIRECTION OF EXISTING OVERLAND FLOW W/GRADE

— — 555 — — FXISTING CONTOUR

TOTAL DISTURBED AREA: 0.81 ACRES

EROSION CONTROL NOTES

- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
- STABILIZE SUBGRADE
- PAVE PARKING LOT AND SIDEWALKS AS SPECIFICIED ON PLAN SHEETS.

- PHASE 4 LANDSCAPING AND DEVELOPMENT

 A. INSTALL PERMANENT STABILIZATION.

 B. REMOVE EROSION CONTROL DEVICES WHEN FINAL STABILIZATION IS ACHIEVED PER THE TPDES GENERAL PERMIT.

 C. STABILIZE ANY AREAS DISTURBED BY REMOVAL OF BMPs.

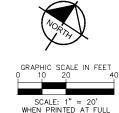
DEVELOPER/OWNER: SAM'S REAL ESTATE BUSINESS TRUST. P.O. BOX 8050 MAILSTOP 0555

BENTONVILLE, AR 72712

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.



SIZE 24"X36"

REVISION-REVISION-REVISION-Kimley»Horr

SOIL EROSION NOTE

SHRINK/SWELL POTENTIAL.

SOIL TYPE: ASPHALT SURFACING ABOVE CLAY AND SHALY CLAY WITH VERY HIGH

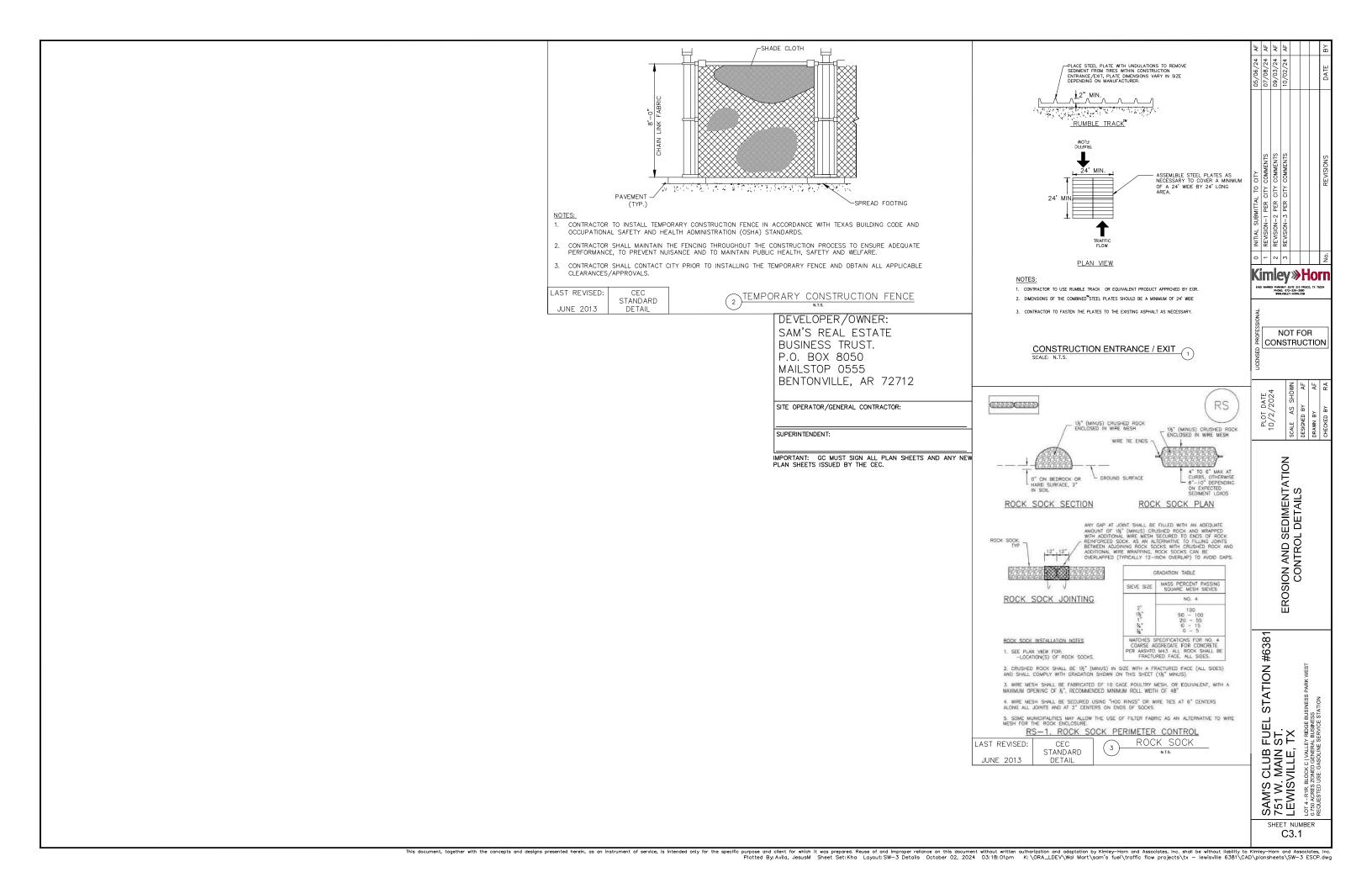
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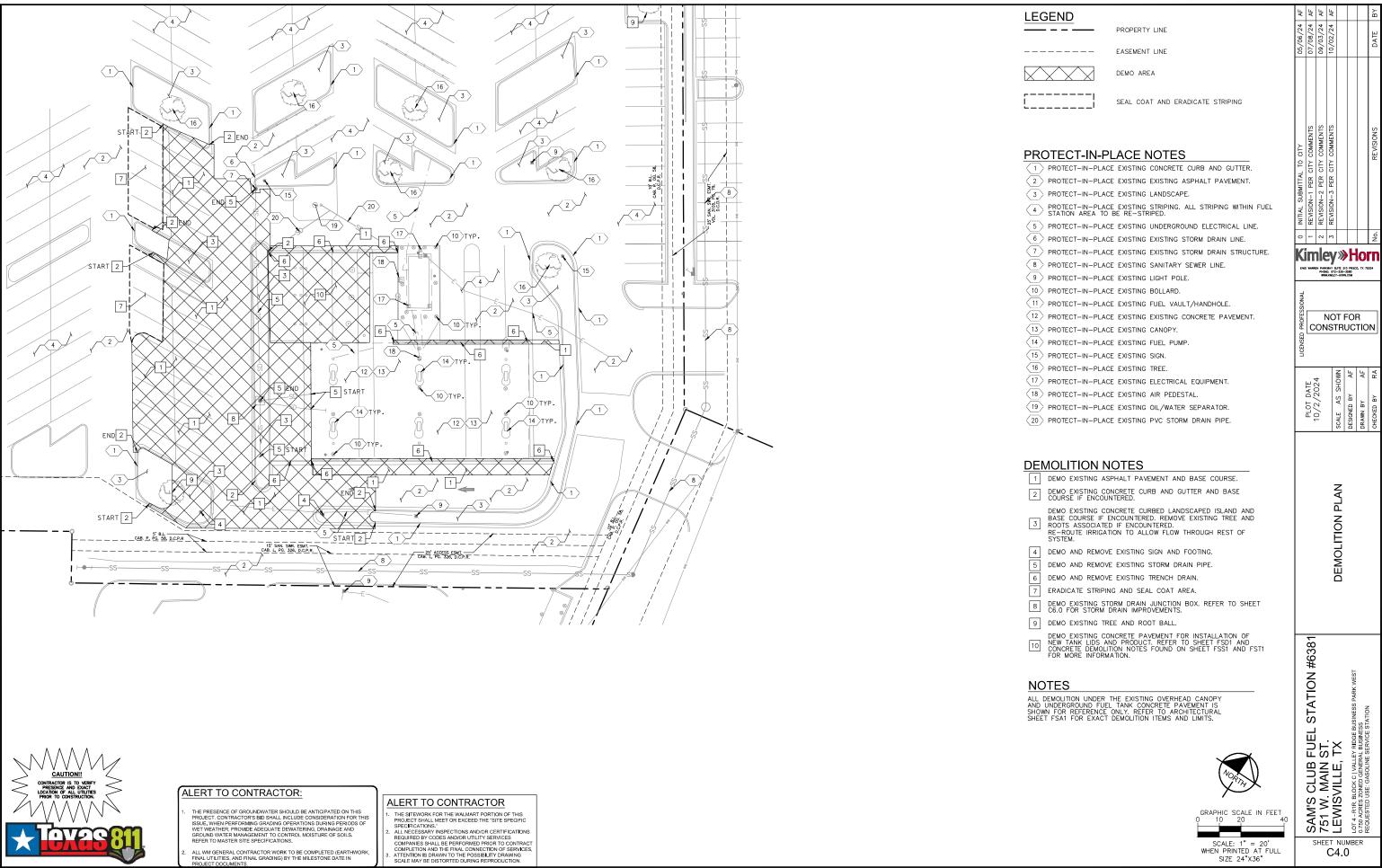
PLOT 10/2,

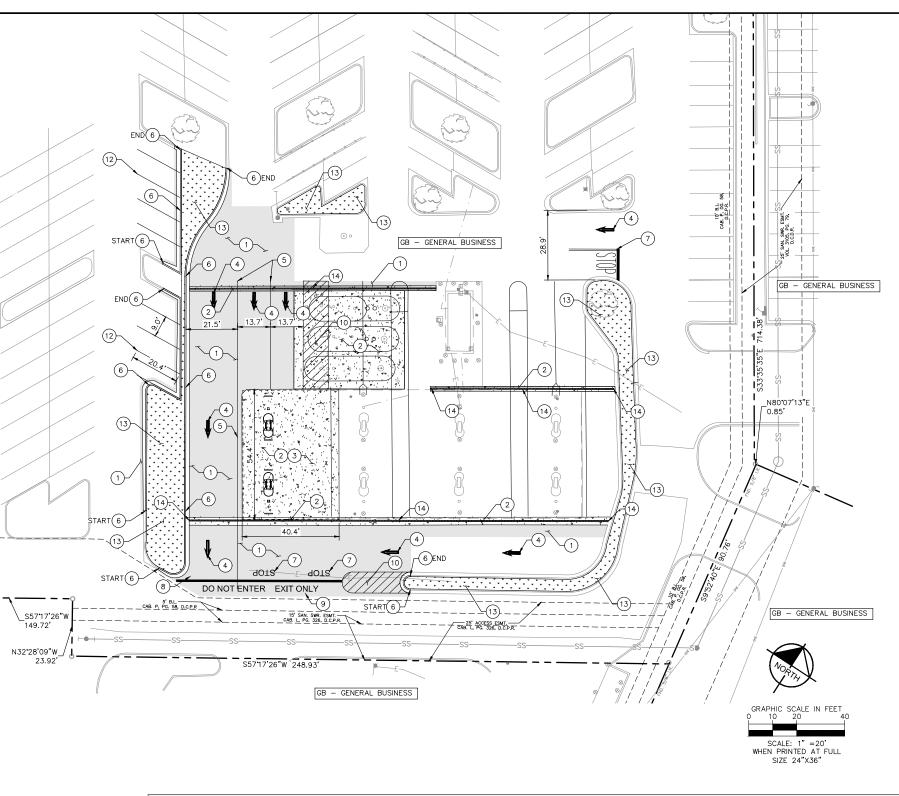
EROSION AND SEDIMENTATION CONTROL PLAN

STATION #6381 FUEL ST. TX SAM'S CLUB F 751 W. MAIN S LEWISVILLE, " SHEET NUMBER

C3.0







				PARKIN	IG DATA TABLE						
SAM'S CLUB BUILDING INFO	AHJ PARKING REQUIRED	SAM'S CLUB PARKING REQUIRED	REGULAR PARKING STALLS PROVIDED		ADA PARKING STALLS PROVIDED (VAN)	CART CORRAL STALLS PROVIDED	TOTAL STALLS PROVIDED	AHJ STALLS PARKING REQUIRED	AHJ REQUIRED PARKING RATIO	TOTAL SAM'S CLUB PARKING RATIO	ECR REQUIRED PARKING RATIO (TRACT 1)
SAM'S CLUB BUILDING SF (1)	SPACES	SPACES	SPACES (2,3)	SPACES (2,3)	SPACES (2,3,4)	SPACES (2,3)	SPACES (2,3)	SPACES (2,3)	SPACES (2,3)	SPACES (3)	
EXISTING 136,483 SF	455 (1SP/300SF)	546 (1SP/250SF)	380	16	15	20	431	412	3.02 SP / 1,000 SF	3.16 SP / 1,000 SF	5.50 SP / 1,000 SF
PROPOSED 136,483 SF	455 (1SP/300SF)	546 (1SP/250SF)	361	16	15	20	412	412	3.02 SP / 1,000 SF	3.02 SP / 1,000 SF	5.50 SP / 1,000 SF

*CART CORRALS WERE NOT INCLUDED IN THE FINAL COUNT FOR THE NUMBER OF PARKING STALLS PROVIDED IN BOTH THE AHJ AND SAM'S CLUB PARKING RATIO.
*REQUIRED ECR PARKING RATIO INCLUDES NEIGHBORING LOTS, KNOWN AS TRACT 1, AS SHOWN ON DOCUMENT 1996-57435 OF THE OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS.



EASEMENT LINE

PROPERTY LINE





PROPOSED LANDSCAPING

HEAVY DUTY ASPHALT PAVEMENT



CONCRETE PAVEMENT

CONSTRUCTION NOTES

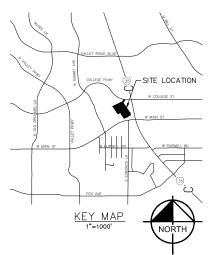
- 1 PROPOSED HEAVY DUTY ASPHALT PAVEMENT. PER DETAIL 1, SHEET C5.1.
- 2 PROPOSED CONCRETE PAVEMENT. REFER TO SHEET FSS1 FOR MORE INFORMATION.
- $\ensuremath{\ensuremath{\mathfrak{J}}}$ PROPOSED OVERHEAD CANOPY. REFER TO SHEETS FSA1 AND FSA1.1 FOR MORE INFORMATION.
- STRIPE DIRECTIONAL ARROW PAVEMENT MARKING PER DETAIL 4, SHEET C5.1.
- 5 STRIPE QUEUING LANE. QUEUING LANE TO MATCH EXISTING STRIPING. STRIPED OR SOLID QUEUE LANE SPECIFIED PER PLANS.
- 6 PROPOSED CONCRETE CURB AND GUTTER PER DETAIL 2, SHEET C5.1.
- 7 STRIPE STOP BAR PAVEMENT MARKING PER DETAIL 3, SHEET C5.1.
- (8) PROPOSED "ENTRANCE" PAVEMENT PARKING.
- 9 PROPOSED "EXIT ONLY" PAVEMENT MARKING.
- (10) STRIPE WHITE 4" STRIPE, 60 DEGREES, SPACED AT 24" O.C.
- $\fbox{11}$ PROPOSED STOP SIGN ON POST PER DETAIL 5, SHEET C5.1 AND DETAIL 6, SHEET C5.1.
- $\fbox{12}$ STRIPE REGULAR PARKING STALLS TO MATCH EXISTING PARKING STALLS. DIMENSIONS PER PLAN.
- PROPOSED LANDSCAPING. REFER TO SHEET 6500 AND SHEET 6600 FOR MORE INFORMATION.
- PROPOSED CONCRETE TRENCH DRAIN. REFER TO SHEET C6.0 AND C6.1 FOR MORE INFORMATION. FOR CONCRETE PAVEMENT SURROUNDING TRENCH DRAIN REFER TO SHEET FFS1.

NOTES

GENERAL CONTRACTOR TO RE—STRIPE ALL EXISTING STRIPING WITHIN FUEL STATION AREA. MINIMUM OF 2 COATS FOR RE—STRIPING STRIPING.

LANDSCAPE INFO	RMATION
TOTAL LANDSCAPE REMOVED, SQUARE FEET	1,641 SQ. FT.
TOTAL LANDSCAPE ADDED, SQUARE FEET	1,734 SQ. FT.

FEMA FLOOD NOTE: ZONE X.



	REVISION-1 PER CITY COMMENTS 07/08/24	REVISION-2 PER CITY COMMENTS 09/03/24	REVISION-3 PER CITY COMMENTS 10/02/24		REVISIONS
0	-	2	3		No.

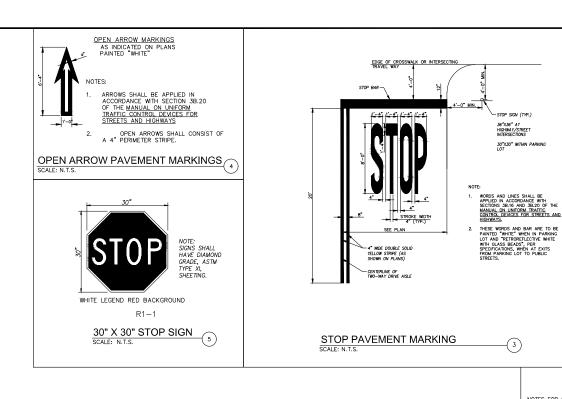
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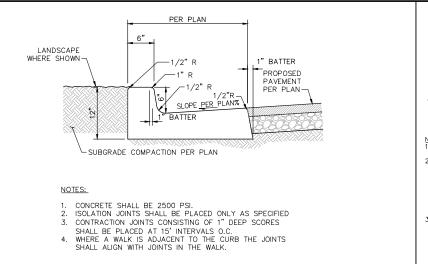
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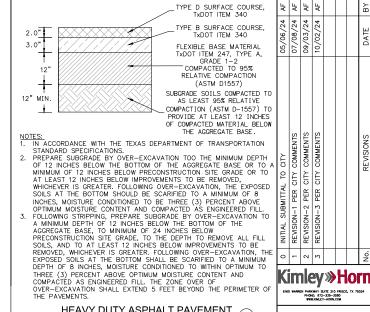
PLAN

STATION #6381 SAM'S CLUB FUEL S
751 W. MAIN ST.
LEWISVILLE, TX
1074-RIR BLOCK CI VALLEY RIDGE BUSIN
1074-RIR BLOCK CI VALLEY RIDGE BUSIN
1074-RIR BLOCK CI VALLEY RIDGE BUSIN
1078-CHESTA BUSINESS
REQUESTED BUSINESS
REQ SHEET NUMBER

C5.0







NOT FOR

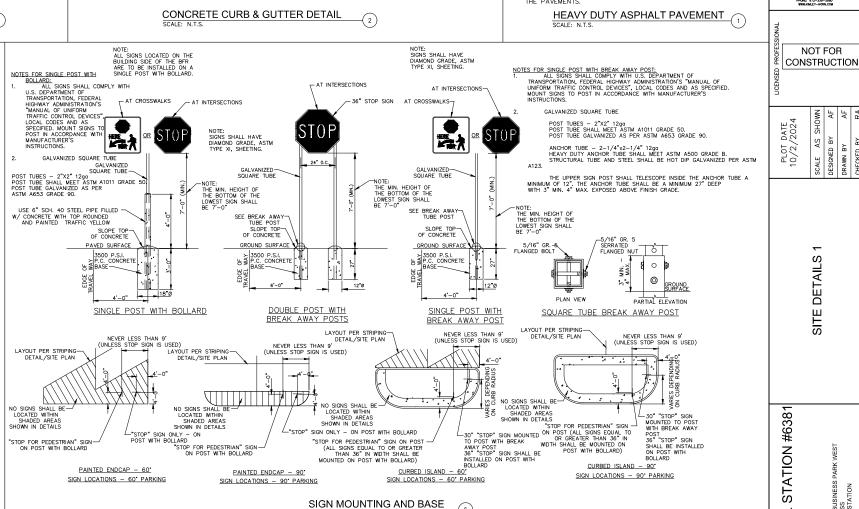
DETAILS

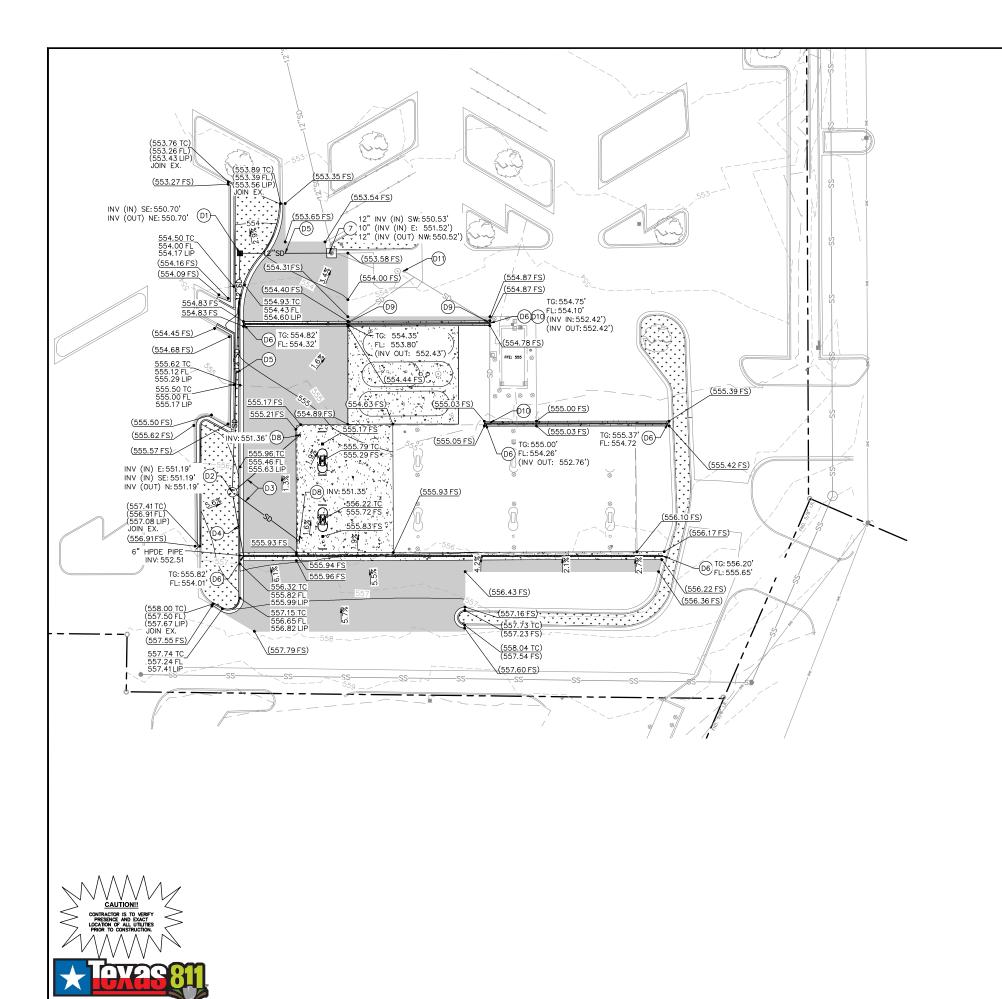
SITE

FUEL ST.

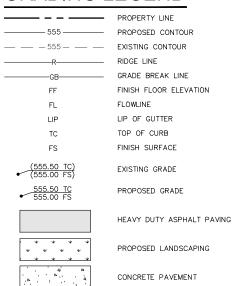
SAM'S CLUB F 751 W. MAIN S LEWISVILLE, 1 1074 - RR. BLOCK CIVALE 0.750 AGRES ZANED GENERAL ROUGISTED USE GASOLINE.

SHEET NUMBER C5.1





GRADING LEGEND



STORM DRAIN NOTES:

X.X%

PROPOSED 18"X18" STORM DRAIN JUNCTION BOX PER OLD CASTLE PRECAST JUNCTION BOX DETAIL ON SHEET C6.1. (D1)

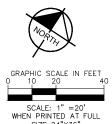
PROPOSED SLOPE

- PROPOSED 48" MANHOLE WITH A 35" ECCENTRIC OPENING PER OLD CASTLE PRECAST 48" STORM MANHOLE DETAIL ON SHEET C6.1. (D2)
- (D3) PROPOSED 4" PVC SDR 26 STORM DRAIN PIPE.
- (D4) PROPOSED 6" HDPE STORM DRAIN PIPE.
- (D5) PROPOSED 12" REINFORCED CONCRETE STORM DRAIN PIPE.
- PROPOSED SIOUX CHIEF HEAVY DUTY TRENCH DRAIN (LOAD GLASS C) OR APPROVED EQUAL. PERFORATED GRATE TO BE ADA COMPLIANT. **D6**
- 07 PROPOSED CONNECTION TO EXISTING JUNCTION BOX.
- PROPOSED CONNECTION TO ROOF DRAINAGE SYSTEM. REFER TO ARCHITECTURAL SHEETS FOR MORE INFORMATION. (D8)
- POINT OF CONNECTION TO EXISTING 10" PVC PIPE.
- (010) POINT OF CONNECTION TO EXISTING 6" PVC PIPE.
- EXISTING OIL/WATER SEPARATOR.

GENERAL NOTES:

- 1. CONTRACTOR SHALL VERIFY INVERTS IN FIELD AND NOTIFY CEC IF INVERT VARIES, PRIOR TO INSTALLATION.
 2. EXISTING STORM DRAIN CANOPY ROOF DRAIN POINT OF CONNECTIONS UNDER THE EXISTING CANOPY CONCRETE SLAB WERE TAKEN FROM "AS—BUILT" CONDITIONS.

 CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS.
 3. ALL TRENCH DRAIN GRATES AROUND FUEL STATION CANOPY TO BE ADA ACCESSIBLE AND HEEL PROOF OR BETTER.



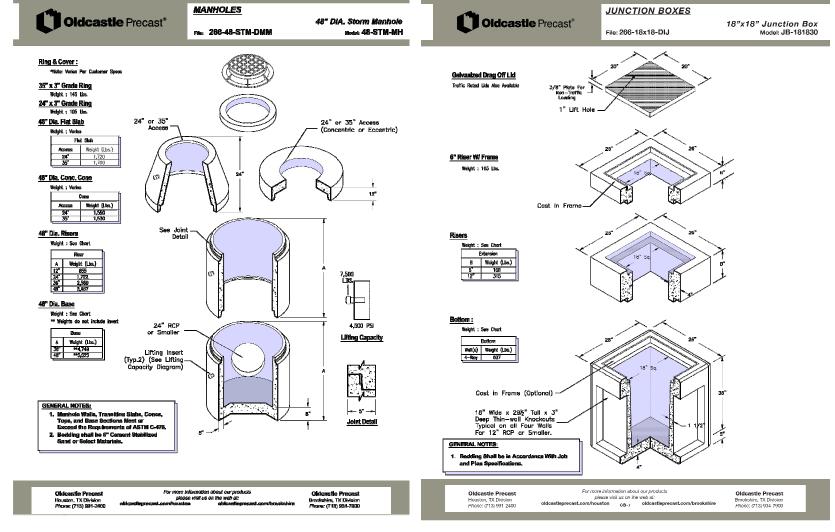
0 INITIAL SUE
1 REVISION—1
2 REVISION—3
3 REVISION—3 Kimley»Horı VARREN PARKWAY SUITE 210 FRISCO, PHONE: 972-336-3680 WWW.KMLEY-HORN.COM NOT FOR CONSTRUCTION

PLOT 10/2/

PLAN DRAINAGE AND GRADING

STATION #6381 FUEL ST. SAM'S CLUB F 751 W. MAIN S LEWISVILLE, I 1074-RIR BLOCK CIVALE) 7.736 ACRES ZOUBD GENERAL ROLLSTED USE GASOLINE E

SHEET NUMBER



MANHOLE 2

JUNCTION BOX 1

0 INITIAL SUBMITTAL
1 REVISION—1 PER CI
2 REVISION—2 PER C
3 REVISION—3 PER CI Kimley»Horn WARREN PARKWAY SUITE 210 FRISCO, PHONE: 972-335-3580 WWW.KMLEY-HORPLCOM

NOT FOR CONSTRUCTION

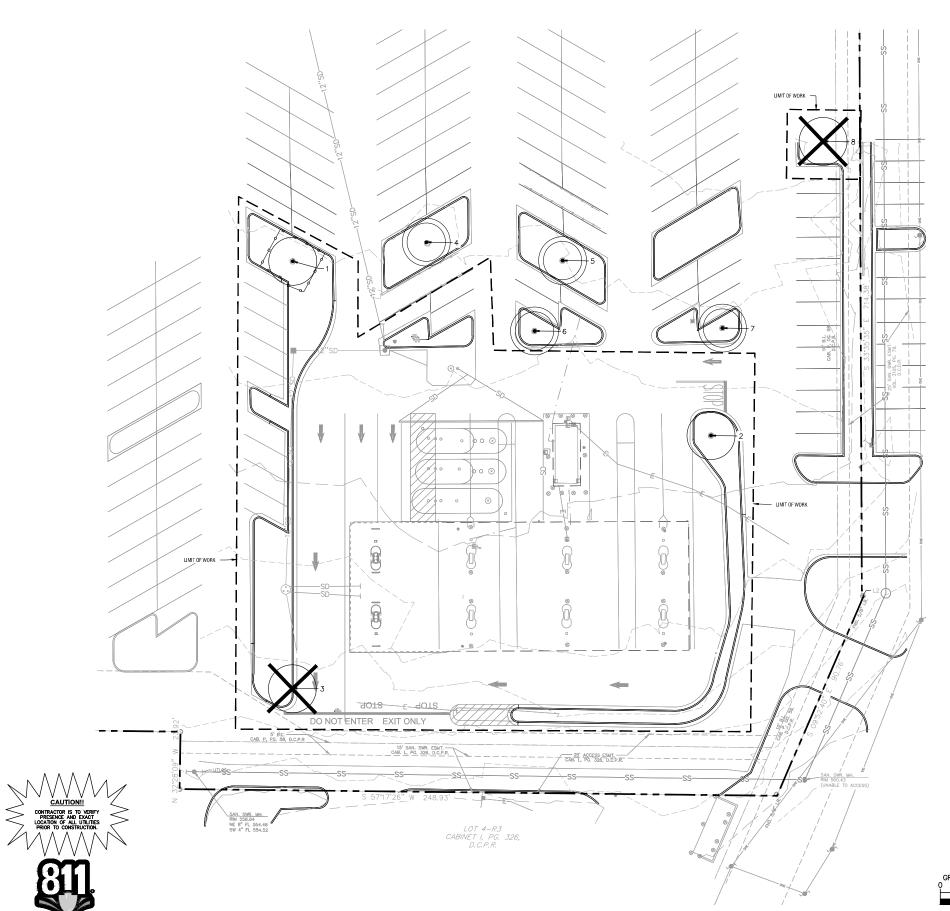
PLOT DATE 10/2/2024

GRADING AND DRAINAGE DETAILS

SAM'S CLUB FUEL STATION #6381
751 W. MAIN ST.
EWISVILLE, TX
OTAGE ARE BLOKE CIVILEY RIDGE BUSINESS PARK WEST
DATE ARE SOURCE CIVILEY BUSINESS
REQUESTED USE: GASOLINE SERVICE STATION

SHEET NUMBER

C6.1



Know what's below.

Call before you dig.

TREE PRESERVATION LEGEND



EXISTING TREE TO BE PRESERVED OUTSIDE THE LIMIT OF WORK LINE



EXISTING TREE TO BE PRESERVED WITHIN THE LIMIT OF WORK LINE



EXISTING TREE TO BE REMOVED WITHIN THE LIMIT OF WORK LINE

TREE PROTECTION FENCE

		Inside	- Limit of W	ork	
Tree#	DBH	Species	Satus	Mitigation Inches	Preserved Inches
1	14"	Shumard Oak	Remain	N/A	14"
2	6"	Shumard Oak	Remain	N/A	N/A
3	12"	Live Oak	Remove	12"	N/A
8	12"	Chinese Pistache	Remove	N/A	N/A

Outside - Limit of Work						
Tree #	DBH	Species	Satus	Mitigation Inches	Preserved Inches	
4	14"	Shumard Oak	Remain	N/A	N/A	
5	12"	Shumard Oak	Remain	N/A	N/A	
6	6"	Shumard Oak	Remain	N/A	N/A	
7	5"	Shumard Oak	Remain	N/A	N/A	

Total Mitigation Inches	24"
Total Preserved Inches	14"
Total Additional Inches	12"
(Refer to Landscape Plan)	12"

^{*}Tree preservation credits may be used to offset the required replacement of protected trees required herein.

TREE PRESERVATION AND REMOVAL NOTES

1. CONTRACTOR SHALL COORDINATE WITH ISA CERTIFIED ARBORIST AND PROPERTY OWNERS TO VERIFY OBJECTIVES PRIOR TO COMMENCING ANY PRUNING OR TREE REMOVAL ACTIVITIES.

2. ALL CREW MEMBERS SHOULD BE WEARING THE APPROPRIATE SAFETY GEAR: HARD HATS, EYE PROTECTION, APPROVED BOOTS, HEARING PROTECTION, CHAIN SAW CHAPS FOR GROUNDWORK.

3. ANY TREES REMOVED, AND ALL TREE MATERIALS REMOVED SHALL BE REMOVED FROM THE PROPERTY AT THE CONTRACTOR'S EXPENSE.

4. ALL TRASH AND DEBRIS FROM ANY CONSTRUCTION RELATED ACTIVITIES SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE, FOLLOWING COMPLETION OF THE PROJECT.

5. ANY DAMAGE TO THE EXISTING LANDSCAPE, PAVEMENT, BUILDING, OR ANY OTHER SITE FEATURES SHALL BE REPLACED BY THE CONTRACTOR AND/OR RESTORED TO PRE-CONSTRUCTION CODITION.

6. CONTACT LANDSCAPE ARCHITECT AFTER ALL TREE PROTECTION REQUIREMENTS HAVE BEEN INSTALLED FOR FINAL INSPECTION PRIOR TO COMMENCEMENT OF DEMOLITION.

7. TREE TRUNKS MUST BE CUT AT GROUND LEVEL WHERE REMOVAL OF A TREE MAY DAMAGE ROOT SYSTEMS OF AN ADJACENT TREE.

8. ALL ROOTS TWO INCHES OR LARGER IN CALIPER, WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION, SHALL BE CUT OFF SQUARE.

REVSIONS

Kimley Horn
660 WARREN PARKWAY SUITE 210 FRECC, TX 75034
PRONE: 072-336-3500
WWW.MAEY-MORGACON



PLOT DATE 10/1/2024 SALE AS SHOWN

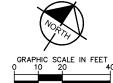
SCALE AS S

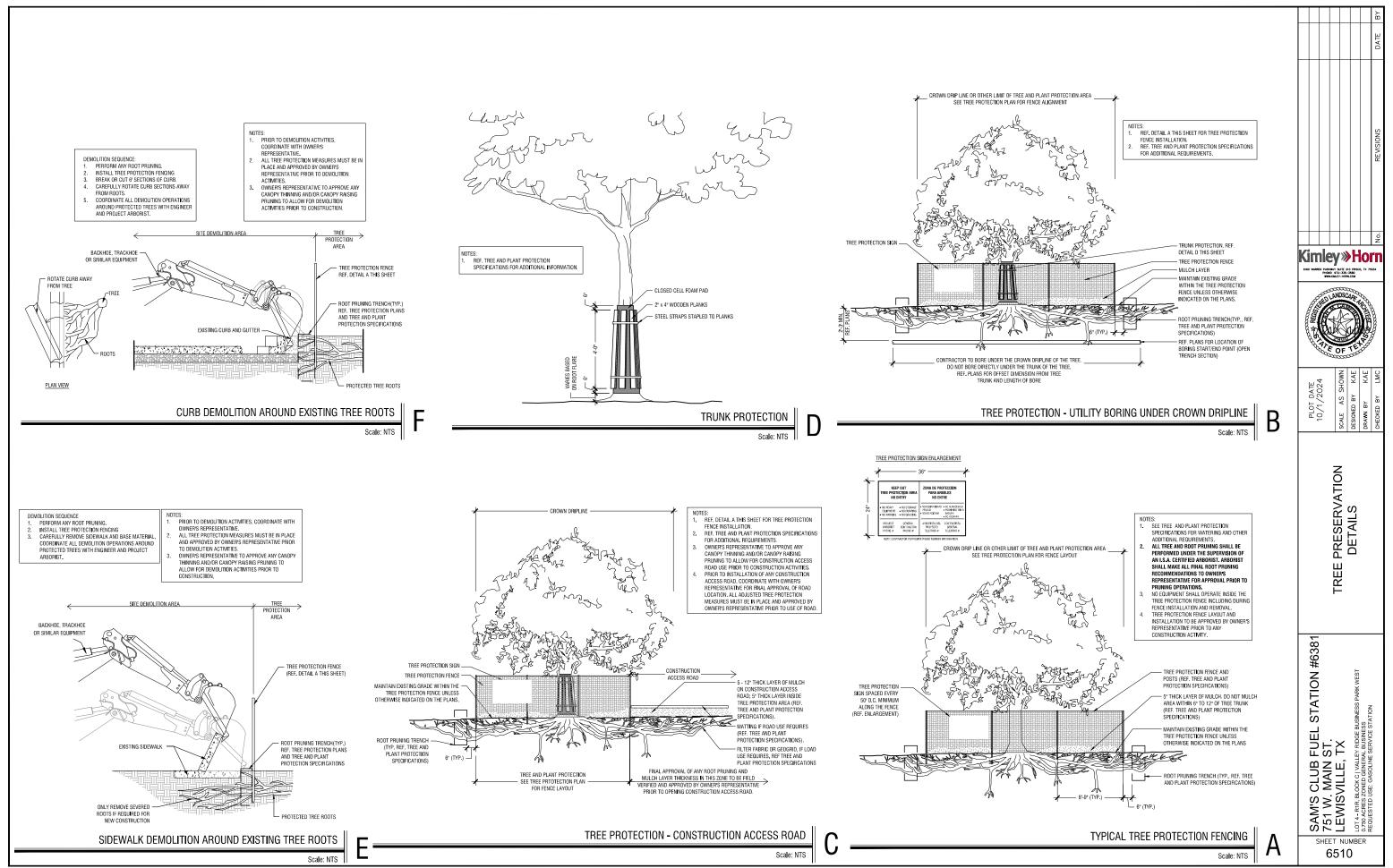
TREE PRESERVATION PLAN

UEL STATION #6381 IT. 'X

SAM'S CLUB FUEL STATI
751 W. MAIN ST.
LEWISVILLE, TX
GOTO 1- RIR BLOKK CIVALEY RIDGE BUSINESS PAR
A 0.756 ACRES ZONED GENERAL BUSINESS
REQUESTED USE. GASOLINE SERVICE STATION

6500





Know what's below. Call before you dig.

CITY OF LEWISVILLE LANDSCAPE REQUIREMENTS					
LANDSCAPE STANDARDS	REQUIRED	PROVIDED			
No more than 30% of required trees shall be the same species. (Section VIII.3.3.H)	YES	YES			
PARKING LOT STANDARDS	REQUIRED	PROVIDED			
Each landscape island must contain one (1) three-inch (3") caliper shade tree. { Section VIII.3.3.C} Within Limit of Work.	6 TREES	6 TREES			

PLANT SCHEDULE

SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
TREES					
(\cdot)	EX	2	Existing Tree / Protect in Place	Existing	Existing Tree To Be Preserved Within The Limit of Work Line.
(EX2	4	Existing Tree / Protect in Place	Existing	Existing Tree To Be Preserved Outside The Lim of Work Line.
A THE THE PARTY OF	QS	1	Quercus shumardii / Shumard Red Oak	3" cal, 14' ht, 5'-6' spr	Full, Straight, Single Leader
	QT	1	Quercus texana / Texas Red Oak	3" cal, 16' ht, 6' spr	Full, Straight, Single Leader
	QV	1	Quercus virginiana / Southern Live Oak	3" cal, 16' ht, 6' spr	Full, Straight, Single Leader
	UC	1	Ulmus crassifolia / Cedar Elm	3" cal, 14' ht, 6' spr	Full, Straight, Single Leader
MISC	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SPECIFICATIONS	

4" depth to be utilized within all interior plantings.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: ALL PROPOSED LANDSCAPE PLANTING AREAS TO BE EXCAVATED TO A MINIMUM DEPTH OF 24' AS NECESSARY TO CONTAIN APPROPRIATE PLANTING MIX AS SPECIFIED IN SECTION 290, PART 2 & TOPSOIL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITIES, IRRIGATION LINES. WIRING, STRUCTURES, LANDSCAPE, ETC. WHICH ARE SCHEDULED TO BE RETAINED/DREUSED.

TBD Mineral Mulch

NOTE: CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE. SLOPED PAVING, EXIT PORCHES, RAMPS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.

LANDSCAPE NOTES:

******* WW

- ALL LANDSCAPE NOTES:

 ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 4° OF TOPSOIL. SEE 2900 SPECIFICATION.

 ALL PLANT MATERIAL, SHALL BE CHEAL THY, VIGOROUS, AND FREE OF PESTS AND DISEASE.

 ALL PLANT MATERIAL, SHALL BE CONTINENE ROWN OR BALLED AND DISEASE.

 ALL THESS SHALL HAVE A STRAGHT TRUINK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFICATION.

 ALL TREES SHALL HAVE A STRAGHT TRUINK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFICATION.

 ALL TREES SHALL HAVE A STRAGHT TRUINK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFICATION.

 ALL TREES SHALL HAVE A STRAGHT TRUINK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFICATION.

 ALL TREES SHALL HAVE A STRAGHT TRUINK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFICATION.

 ALL TREES MUST BE GUYED OR STRAGED AS SPECIFIC DEVIATION OF THE PLANT LAND THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXMATE. IT SHALL BE THE RESPONSIBLE TO RECOVERY THE CONTRACTOR 3) TO VEREITY THE LOCATIONS OF UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXMATE. IT SHALL BE THE RESPONSIBLE TO RECOVERY THE CONSTRUCTION PROVIDED 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.

 OCHITACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.

 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FUELLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.)

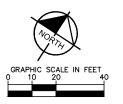
 ALL OF THE PLANT MATERIAL SHAD LAWN FOR THE FERRIOD OF TIME SHOWN IN THE 02800 SPEC.

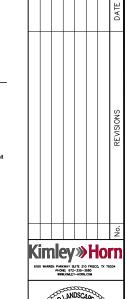
 ANY PLANT MATERIAL WHICH IS DISASED, DEAD OR RESPONSIBLE FOR VERIFICIAL SHOWN IN THE 02800 SPEC.

 ANY PLANT MATERIAL SHAD LAWN FOR THE FERRIOD OF TIME SHOWN IN THE 02800 SPEC. THE CONTRACTOR SHALL BE PROMPTLY REMOVED FROM THE SHAD APPRACE WITH MATERIAL SHAD LAWN

- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. OUT RANGE OF A THE SECTION OF THE SECTION OF THE SWIPPP PLAN FOR THIS SITE. THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
 THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWIPPP PLAN.
 ALL INVASIVE / EXOTIC SPECIES AND PROHIBITED TREE SPECIES SHALL BE REMOVED FROM SITE, INCLUDING ROOT BALLS TO THE EXTENT POSSIBLE WITH NO DAMAGE TO ADJACENT EXISTING TREES.
 EXISTING TREES TO BE CORRECTIVELY PRUNED BY A CERTIFIED ARBORIST WITH THE DIRECTION OF THE LANDSCAPE ARCHITECT.

PERMANENT GRASS CHART							
SYMBOL	ACREAGE	VARIETY	SEEDING RATE				
SOD	0	Common Bermuda	N/A				







PLOT DATE 10/1/2024

PLAN

SCAPE LAND

STATION FUEL ST. TX SAM'S CLUB F 751 W. MAIN S LEWISVILLE, T LOT4 - RING BLOCK CI WALEY 0.750 ACRES ZONED GENERAL REQUESTED USE. GASOLINE S

SHEET NUMBER 6600

ROOTBALL AND TRUNK

LARGE TREE PLANTING (14' OR GREATER)

PLAN

SECTION

MULTI-TRUNK TREE PLANTING

- MULCH/ TOPSOIL BACKFILL

NOTES:

- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY
- B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
- D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
- E. BRANCHING HEIGHT TO A.A.N. STANDARDS.
- TREE WRAP.
- 2. Tree Frog® RBK40pt FOR UP TO 4"
 TREE CALIPER OR Tree Frog® RBK60pt
 FOR GREATER THAN 4" AND UP TO 6"
 TREE CALIPER. REFER TO SITEWORK
 SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
- 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
- 4 3" HIGH SOIL BERM TO HOLD WATER
- 5. FINISHED GRADE (SEE GRADING PLAN). TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
- B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
- 8. PREPARED PLANTING SOIL AS
- ROOTBALLS GREATER THAN 24"
 DIAMETER SHALL BE PLACED ON
 MOUND OF UNDISTURBED SOIL TO
 PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- 10. UNDISTURBED SUBSOIL

NOTES:

- MULCH/ TOPSOIL BACKFILL

- TREE STAKING

PLAN

- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY
- B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- D. PRUNE TREE AS DIRECTED BY
- BRANCHING HEIGHT TO A.A.N. STANDARDS.
- 1. TREE WRAP.
- Tree Frog® RBK40pt FOR UP TO 4* TREE CALIPER OR Tree Frog® RBK60pt FOR GREATER THAN 4" AND UP TO 6" TREE CALIPER. REFER TO SITEWORK
- 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
- 4. 3" HIGH SOIL BERM TO HOLD WATER
- 5 FINISHED GRADE (SEE GRADING PLAN)
- 5. TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
- B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
- PREPARED PLANTING SOIL AS SPECIFIED.
- 9. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" NO IJA, MAY SIT ON COMPACTED EARTH.
- 10. UNDISTURBED SUBSOIL.

SMALL TREE PLANTING (14' OR LESS)

- MULCH/ TOPSOIL BACKFILL

SECTION



- SLIGHTLY ABOVE (1" MIN.) ADJACENT FINISH GRADE. REMOVE ALL TWINE & STRAPS & CUT BURLAP FROM TOP 1/3 OF ROOT BALL. NO SYNTHETIC BURLAP WILL BE ACCEPTED. 4" SHREDDED HARDWOOD MULCH OR APPROVED EQUAL.
- 3 DIAMETER OF TREE PIT TO BE TWICE THE DIAMETER OF ROOT
 BALL-ROUGHEN SIDES OF TREE PIT.

FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.

B. SET TREE AT ORIGINAL DEPTH. REMOVE BURLAP, WIRE AND STRAPS

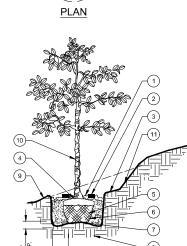
C. SEE LANDSCAPE NOTES FOR THE TYPE D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT

BRANCHING HEIGHT TO A.A.N. STANDARDS

. BASE OF TREE SHALL BE PLANTED

(ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON

- 5. TOPSOIL MIX BACKFILL.
- TREE WRAP.
- 8. ROOT BALLS GREATER THAN 24" MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOT BALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- 9. UNDISTURBED SUBSOIL.
- 10. PREPARE PLANTING SOIL AS SPECIFIED.
- 11. Tree Frog® RBK40pt FOR UP TO 4"
 TREE CALIPER OR Tree Frog® RBK60pt
 FOR GREATER THAN 4" AND UP TO 6"
 TREE CALIPER. REFER TO SITEWORK
 SPECIFICATIONS FOR APPROVED
 MATERIALS AND INSTALLATION
 REQUIREMENTS.



SECTION

TREE PLANTING ON SLOPE

NOTES:

- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY
- B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- D. PRUNE TREE AS DIRECTED BY
- BRANCHING HEIGHT TO A.A.N. STANDARDS.
- 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
- 2. Tree Frog® RBK40pt FOR UP TO 4" TREE CALIPER OR Tree Frog® RBK60pt FOR GREATER THAN 4" AND UP TO 6" TREE CALIPER. REFER TO SITEWORK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
- TOP OF ROOT BALL MIN. 1" ABOVE
- 5. B&B OR CONTAINED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
- 6. PREPARE PLANTING SOIL AS SPECIFIED.
- 7. ROOT BALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOT BALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- 8. UNDISTURBED SUBSOIL.
- 9. 3" HIGH SOIL BERM TO HOLD WATER.
- 10. TREE WRAP.
- CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.

Tree Frog® RBK40pt SYSTEM

FOR UP TO 4" CALIPER TREES

(2) Tree Frog EPIM 32"X2"X6" WOOD BOARDS

(4) 3/4"X70" STRAPPING (1,800 LB. TENSIBLE STRENGTH)

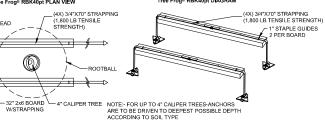
Tree Frog® RBK60pt SYSTEM FOR UP TO 6" CALIPER TREES (4) Tree Frog EPM 3272/276" WOOD BOARDS (8) 3/4"270" STRAPPING (1,800 LB. TENSIBLE STRENGTH)

(8) ARROWHEAD *ANCHORS Tree Frog® RBK INSTALLATION NOTES

SPECIFY ANCHOR 1. BIODEGRADABLE (SOFT OR HARD SOIL) 2. NYLON (SOFT SOIL) 3. HEAVY DUTY (HARD SOIL)

SEE PAGE 2 FOR INSTALLING ROOT BALL TREE STAKING KIT WITH BANDING MACHINE. SEE PAGE 3 FOR INSTALLING ROOT BALL TREE STAKING KIT WITH RATCHET.

Tree Frog® RBK40pt DIAGRAM



-(8X) 3/4" X 70" STRAPPING ₩ FOR UP TO 6" CALIPER TREES 32" 2v6 BOARD -TREE FROG ENVIRONMENTAL PRODUCTS ANCHORS ARE TO BE DRIVEN WWW TREEFROGEP COM 352-735-7411 TO DEEPEST POSSIBLE DEPTH ACCORDING TO SOIL TYPE

"TREE FROG" TREE STAKING

NOTE:
- FOR AREAS WITH STRONG PREVAILING WINDS CONTACT
LANDSCAPE ARCHITECT TO UTILIZE ABOVE GROUND STAKING.

ENTERS

EXISTING

-32" 2x6 BOARD W/STRAPPING -TEMPORAR SAUCER

FINISH GRADE

-MIXED SOIL AS

SPECIFIED

STOP! **CALL BEFORE YOU DIG** 1-800-DIG-TESS (@ least 72 hours prior to digging)



Kimley » Horr REN PARKWAY SUITE 210 FRISCO, PHONE: 972-336-3680 WWW.KMI FY-HORN.COM



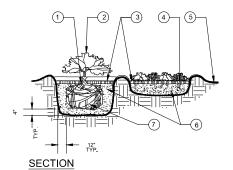
DATE /2024 PLOT 10/1/

> S AF. ΕĹ $\overline{\Box}$ Ш Ш $\overline{\mathbb{Z}}$

#6381 STATION FUEL ST. TX

SAM'S CLUB F 751 W. MAIN S LEWISVILLE, 1 1074-RIR, BLOCK CI VALLE 0.750 ACRES ZONDO GENERA 0.750 ACRES ZONDO GENERA SHEET NUMBER 6610

LANDSCAPE BUFFER

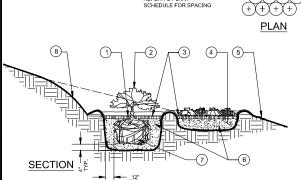


- TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
- 2. WHEN USED IN MASSES- PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT
- 3. 4" MINIMUM OF HARDWOOD BARK MULCH COMPACTED OR AS
- 4. EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
- 5. 4" MINIMUM OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
- B. PREPARED PLANTING SOIL AS SPECIFIED. <u>NOTE:</u> WHEN GROUND COVERS AND SHRUBS USED IN MASSES ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED.

7. SCARIFY ROOTBALL SIDES AND BOTTOM. BEST FACE OF SHRUB/ GROUNDCOVER TO FACE FRONT OF PLANTING BED

REFER TO PLANT —— SCHEDULE FOR SPACING

SHRUB/ GROUNDCOVER PLANTING



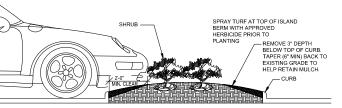
BEST FACE OF SHRUE

GROUNDCOVER TO FACE FRONT OF PLANTING BED

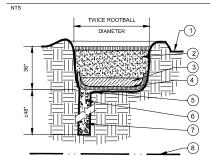
PLAN

- 2. WHEN USED IN MASSES- PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT
- 4" MINIMUM OF SHREDDED HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
- EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
- 6, PREPARED PLANTING SOIL MIX AS SPECIFIED NOTE: WHEN GROUND COVERS AND SHRUBS USED IN MASSES ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED.
- 7. SCARIFY ROOTBALL SIDES AND BOTTOM
- 8. CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.

SHRUB/ GROUNDCOVER PLANTING ON SLOPE



MULCH TAPER DETAIL

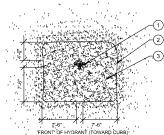


- 1. FINISH GRADE
- 1. FINISH GRADE
 2. BACKFILL WITH PREPARED
 PLANTING SOIL MIX AS
 SPECIFIED.
 3. 12". CLEAN SAND, COMPACTED.
 ADJUST LAYER THICKNESS SO
 TOP OF ROOTBALL IS AT EAST
 1" ABOVE FINISHED GRADE.
- 4. FILTER CLOTH
- 5. SLOPE BOTTOM TO DRAIN

6. 18"± AUGERED HOLE PENETRATE THROUGH OCCLUDING LAYER TO WATER TABLE OR TO A DEPTH OF 7' TO ASSURE PROPER PERCOLATION. 7. BACKFILL WITH 1/2" - 3/4" GRAVEL. 8. WATER TABLE

FOR A PARKING ISLAND PLANTING & TREE GRATE PLANTERS SITUATIONS, CONTRACTOR TO BACKFILL ENTIRE LENGTH OF PLANTING AREA TO WITHIN 6"OF BACK OF CURB OR EDGE OF PAVEMENT.

POOR DRAINAGE CONDITION

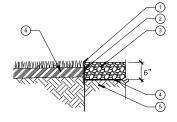


- 1. FIRE HYDRANT
- 2. NO PLANT MATERIAL SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON SITE
- 3. PROVIDE A MULCH, 4" DEPTH MIN., SURROUNDING AREA INDICATED.

FIRE HYDRANT CLEAR ZONE

1"MAX DEPTH OF MULCH -4" DEPTH OF MULCH -SOIL/ MULCH BERM-AS SPECIFIED SOD/ MULCH -OVERALL MULCH RING DIAMETER OR GENERAL MULCH

MULCH DETAIL FOR TREE AND SHRUB PLANTINGS

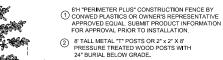


This document, together with the concepts and designs presented herein, as an instru

- (1) GRADE LEVEL WITH TOP OF STEEL EDGING 2 STEEL EDGING, SEE DETAIL
- (3) 6" ROCK/GRAVEL COMPACTED TO 95% SPD WEED BLOCK/ FILTER FABRIC PINNED AT 24" O.C. EACH WAY (5) SUBGRADE COMPACTED TO 95% SPD
- 6 4" TOPSOIL. REF: NOTES AND/OR SPECS FOR MIX. & DEPTH.

ROCK/GRAVEL

N.T.S.



INSTALLATION NOTES:

A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS

ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS. B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/4 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 8' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.

PLAN VIEW

ELEVATION

C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).

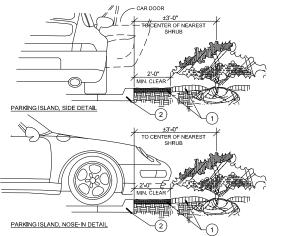


D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS), WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

TREE/SHRUB PROTECTOR

BARRIER DETAIL

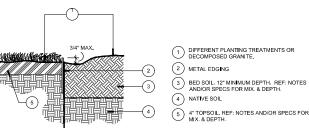


1. INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 4" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY

2. CURB OR PARKING LOT EDGE, BY OTHERS

PARKING SPACE/CURB PLANTING

SECTION

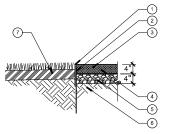


STEEL EDGING

MINERAL MULCH

N.T.S.

N.T.S.



- (1) GRADE LEVEL WITH TOP OF STEEL EDGING
- (2) STEEL EDGING, SEE DETAIL
- (3) 4" MINERAL MULCH, COMPACTED TO 95% SPD
- WEED BLOCK/ FILTER FABRIC PINNED AT 24*
 O.C. EACH WAY
- 5 4" WASHED LIMESTONE COMPACTED TO 95% SPD (6) SUBGRADE COMPACTED TO 95% SPD
- 7 4" TOPSOIL. REF: NOTES AND/OR SPECS FOR MIX. & DEPTH.

STOP! **CALL BEFORE YOU DIG** DIG TESS 1-800-DIG-TESS



FUEL ST. TX SAM'S CLUB F 751 W. MAIN S LEWISVILLE, SHEET NUMBER 6620

Kimley » Hori

PHONE: 972-335-3580

DATE /2024

PLOT 10/1/

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DETAIL

PLANTING

#6381

STATION

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