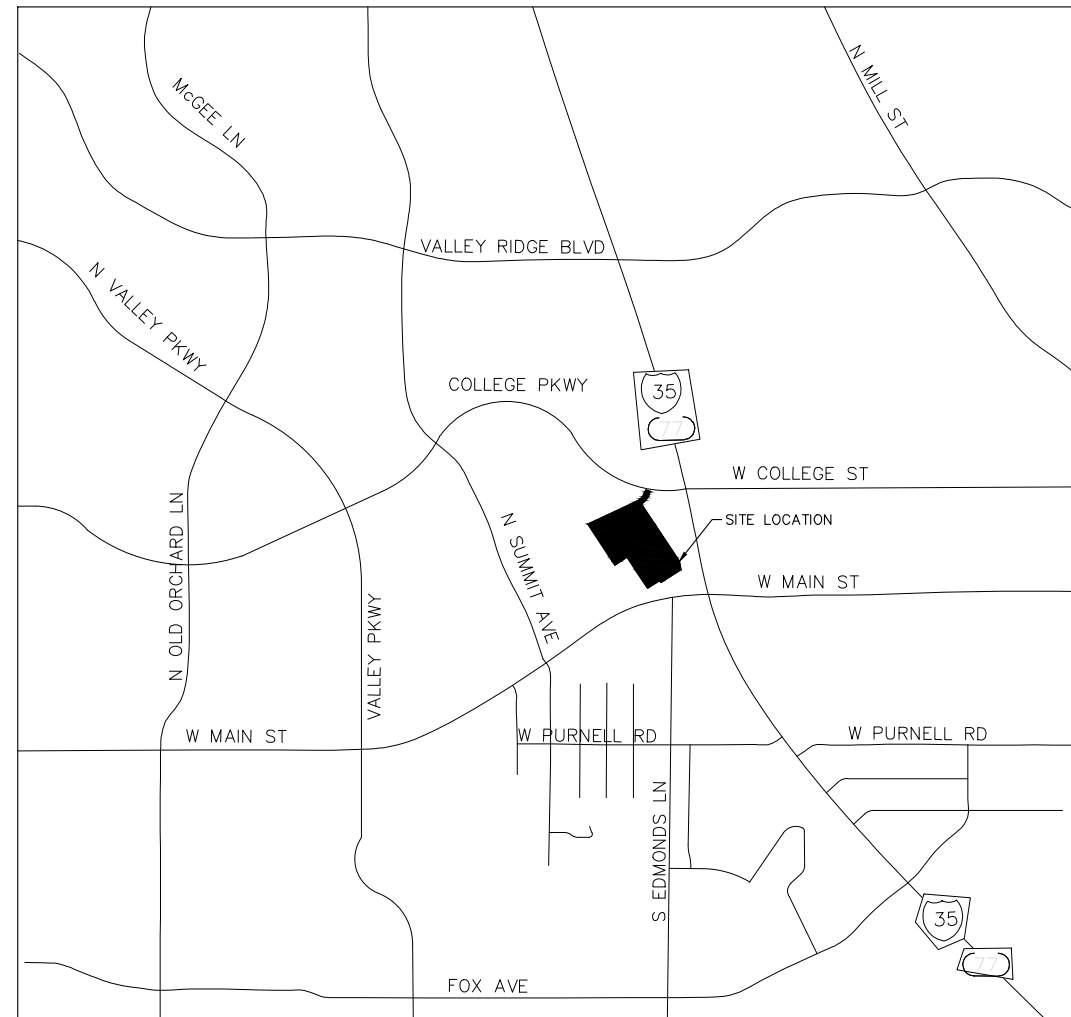


ENGINEERING SITE PLAN



FUEL STATION #6381 751 W. MAIN ST., LEWISVILLE, TX 75067 LOT 4 - R1R, BLOCK C VALLEY RIDGE BUSINESS PARK WEST 0.750 ACRES ZONED GENERAL BUSINESS REQUESTED USE: GASOLINE SERVICE STATION

SHEET INDEX	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C2.0	TOPOGRAPHIC SURVEY
C3.0	EROSION AND SEDIMENTATION CONTROL PLAN
C3.1	EROSION AND SEDIMENTATION CONTROL DETAILS
C4.0	DEMOLITION PLAN
C5.0	SITE PLAN
C5.1	SITE DETAILS 1
C6.0	GRADING AND DRAINAGE PLAN
C6.1	GRADING AND DRAINAGE DETAILS 1
6500	TREE PRESERVATION PLAN
6510	TREE PRESERVATION DETAILS
6600	LANDSCAPE PLAN
6610	TREE DETAILS
6620	PLANTING DETAILS



VICINITY MAP
1" = 1000'

APPROVED FOR CONSTRUCTION *		
CITY DEPARTMENT	DATE	SIGNATURE
PLANNING AND ZONING		
ENGINEERING		
BUILDING INSPECTION		
FIRE PREVENTION		
PUBLIC SERVICES		
ADA		
PARKS		

APPROVED FOR CONSTRUCTION *			
UTILITY	COMPANY	DATE	SIGNATURE
ELECTRIC	TEXAS N.M. POWER CO		
GAS	TXU GAS		
TELECOMMUNICATION	VERIZON		
CABLE	PARAGON CABLE		
SOLID WASTE	TEXAS WASTE MNGT.		

* SIGNATURES NEEDED FOR APPLICABLE COMPANY ONLY

PROJECT TEAM

SURVEY

CIVIL-SURV LAND SURVEYING, LLC
MICHAEL HALL, PLS
10590 WESTOFFICE DRIVE, SUITE #100
HOUSTON, TEXAS 77042
PHONE: (713) 839-9181

CIVIL

KIMLEY-HORN AND ASSOCIATES, INC.
CAROLYN KOCH, P.E.
6160 WARREN PKWY., SUITE 210
FRISCO, TEXAS 75034
PHONE: (972) 335-3580

GEOTECHNICAL ENGINEER

ALPHA TESTING, LLC
DAVID E. SCHLEDORN, P.E.
2209 WISCONSIN STREET
DALLS, TX 75229
PHONE: (972) 620-8911 FAX: (972) 620-1302

ARCHITECT

BRR ARCHITECTURE, INC.
JOHN PAUL FRANK
8131 METCALF AVE. SUITE 300
OVERLAND PARK, KANSAS 66204
PHONE: (479)-286-2990

OWNER/DEVELOPER

SAMS REAL ESTATE BUSINESS TRUST.
P.O. BOX 8050
MAIL STOP 0555
BENTONVILLE, AR 72712

SCOPE OF WORK

PROJECT INCLUDES DEMOLITION OF EXISTING HARD-SCAPE, CONCRETE CURB AND CUTTER, UNDERGROUND STORM DRAIN UTILITIES AND RELOCATION OF EXISTING STORM DRAIN STRUCTURES FOR THE PROPOSED FUEL STATION EXPANSION. FUEL STATION EXPANSION CONSIST OF 2 NEW FUEL STATION PUMPS UNDER AN OVERHEAD CANOPY STRUCTURE ON NEW CONCRETE PAVEMENT SURROUNDED BY ASPHALT PAVEMENT AND NEW CURBED LANDSCAPE ISLANDS TO IMPROVE TRAFFIC FLOW THROUGHOUT THE SITE.

No.	REVISIONS	DATE	BY
0	INITIAL SUBMITTAL TO CITY		
1	REVISION-1 PER CITY COMMENTS	05/06/24	AF
2	REVISION-2 PER CITY COMMENTS	07/08/24	AF
3	REVISION-3 PER CITY COMMENTS	09/03/24	AF
		10/02/24	AF



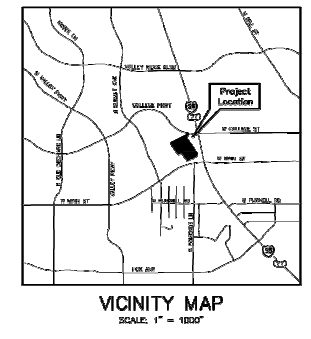
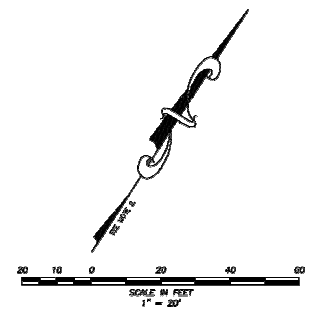
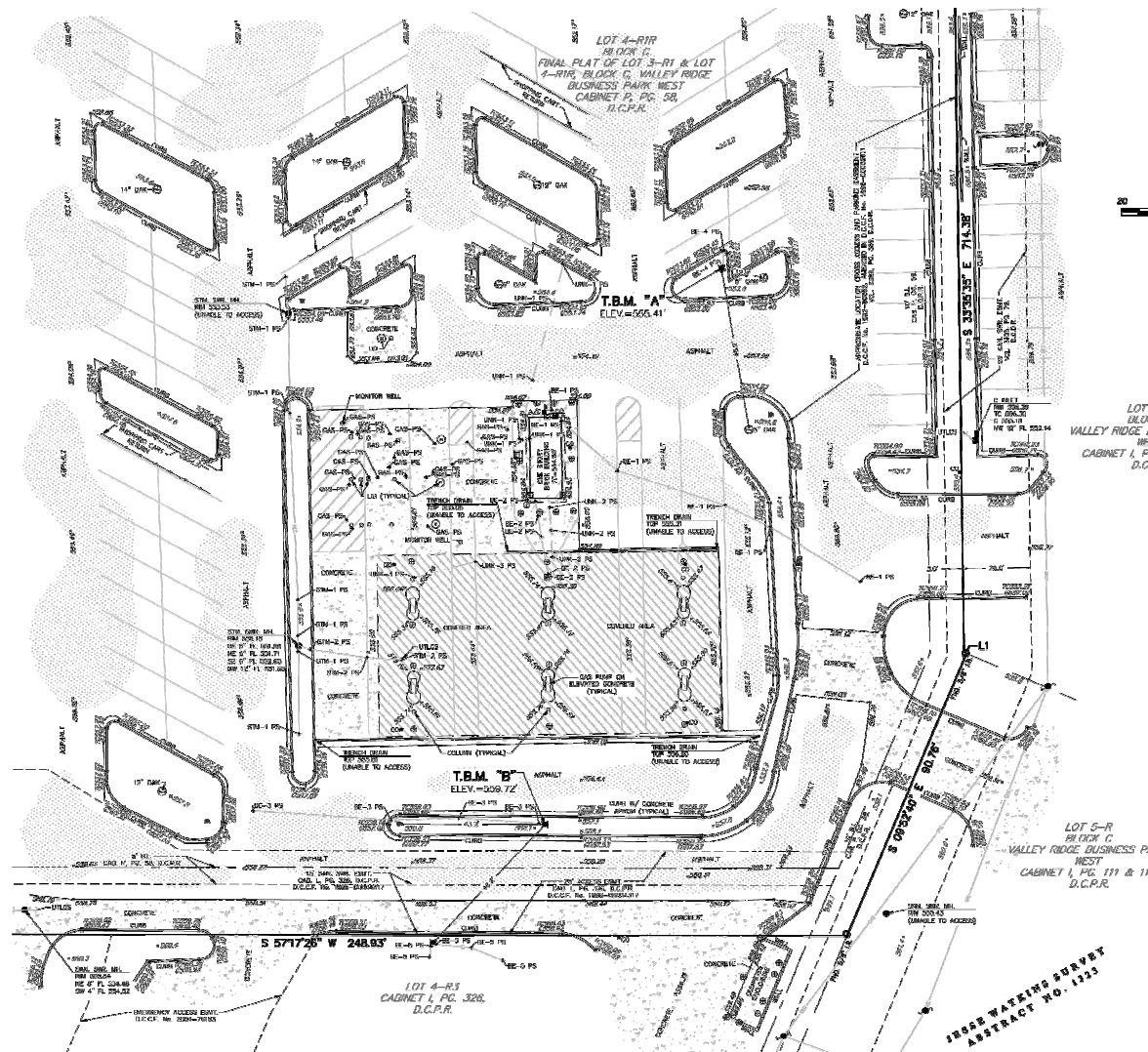
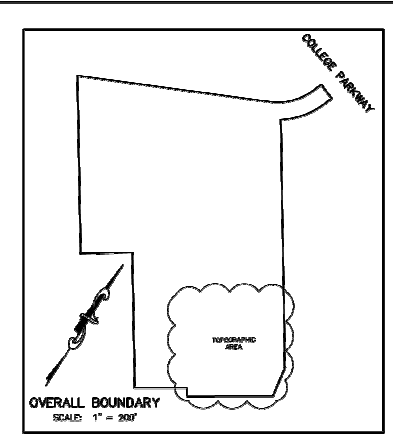
NOT FOR CONSTRUCTION

PLOT DATE 10/2/2024	SCALE AS SHOWN	DESIGNED BY AF	DRAWN BY AF	CHECKED BY RA
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COVER SHEET

SAM'S CLUB FUEL STATION #6381
751 W. MAIN ST.
LEWISVILLE, TX
LOT 4 - R1R, BLOCK C | VALLEY RIDGE BUSINESS PARK WEST
0.750 ACRES ZONED GENERAL BUSINESS
REQUESTED USE: GASOLINE SERVICE STATION

SHEET NUMBER
C1.0



LEGEND

[Symbol]	HEIGHT	ELEVATION
[Symbol]	TOP OF CURB	
[Symbol]	OUTLET	
[Symbol]	FIN	
[Symbol]	FIN HOLD	
[Symbol]	FLOORLINE	
[Symbol]	C. BRET	
[Symbol]	MANHOLE	
[Symbol]	CLEAN CUT	
[Symbol]	ROLLAND	
[Symbol]	POWER POLE	
[Symbol]	STREET SIGN	
[Symbol]	AREA LIGHT	
[Symbol]	COLLECTING MARK	
[Symbol]	ORANGE LINE FENCE	
[Symbol]	OVERHEAD ELECTRIC LINE	
[Symbol]	SAFETY JERSEY	
[Symbol]	STORM SEWER	
[Symbol]	OVERPASS/CORNER AREA	
[Symbol]	CONCRETE	
[Symbol]	ASPHALT	

ABBREVIATIONS

BL	BUILDING LINE
ENT	EASEMENT
CAB	CABINET
D.C.P.R.	DENTON COUNTY PLAT RECORDS
D.C.P.R. #	DENTON COUNTY PLAT RECORDS NUMBER
S.F.	SQUARE FEET
STAM. ENCL.	STAMPED ENCLOSURE
U.E.	UTILITY EASEMENT
VOL.	VOLUME
FF	FURNISHED FLOOR
PS	PAINT STRIPE
CAS-PS	GAS LINE PAINT STRIPE
FIEL	FIELD
LUL	IRON ROD
T.B.M.	TEMPORARY BENCHMARK
FL	FLOWLINE
A/C	AIR CONDITIONING UNIT
UTILES	UNABLE TO LOCATE CONNECTING STRUCTURE
UC	UNLINED
UMH	UNMARKED

LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N 80°07'13" E	0.85'

- SCHEDULE "N", ITEM 10 EXCEPTION NOTES:**
- 10(a)-SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIONS AND/OR NOTATIONS AS SET OUT IN VOL. 1, PG. 98, VOL. 4, PG. 324, VOL. 4, PG. 325, VOL. 4, PG. 48, VOL. 1, PG. 63, VOL. 1, PG. 111, VOL. 1, PG. 326 OF THE D.C.P.R. AND D.C.C.F. No. (a) 2012-280, 2023-73, 2023-108 AND 8888-CLASS. AFFECTS SURVEYED PROPERTY, PLOTTED HEREIN AS APPLICABLE.
 - 10(b)-BUILDING, USE AND ZONING ORDINANCES OF THE CITY OF LEWISVILLE, LOCATED IN ZONE "G2", GENERAL BUSINESS, AFFECTS SURVEYED PROPERTY, NOT PLOTTABLE WITHIN TOPOGRAPHIC AREA.
 - 10(c)-SANITARY SEWER EASEMENT, VOL. 1016, PG. 261, D.C.D.R., DOES NOT AFFECT SURVEYED PROPERTY, NOT PLOTTED HEREIN.
 - 10(d)-56' EASEMENT FOR EASEMENT, VOL. 1156, PG. 126, D.C.D.R., DOES NOT AFFECT SURVEYED PROPERTY, NOT PLOTTED HEREIN.
 - 10(e)-BRAZOS ELECTRIC UTILITY EASEMENT, VOL. 1676, PG. 386, D.C.D.R., DOES NOT AFFECT SURVEYED PROPERTY, NOT PLOTTED HEREIN.
 - 10(f)-WATERLINE EASEMENT, VOL. 2493, PG. 580, D.C.D.R., DOES NOT AFFECT SURVEYED PROPERTY, NOT PLOTTED HEREIN.
 - 10(g)-26' SANITARY SEWER EASEMENT, VOL. 3108, PG. 79, D.C.D.R. (D.C.C.F. No. 1999-59157) AFFECTS SURVEYED PROPERTY, PLOTTED HEREIN.
 - 10(h)-TEXAS HIGH MEDIUM POWER EASEMENT, D.C.C.F. No. 1961-59158, DOES NOT AFFECT SURVEYED PROPERTY, NOT PLOTTED HEREIN.
 - 10(i)-CROSS ACCESS AND PARKING EASEMENT, D.C.C.F. No. 1992-80832 AS AMENDED BY D.C.C.F. No. 1996-00052511, AFFECTS SURVEYED PROPERTY, PLOTTED HEREIN.
 - 10(j)-ACCESS, UTILITY, DRAINAGE, SANITARY SEWER AND TEMPORARY CONSTRUCTION EASEMENT, D.C.C.F. No. 1998-0004517, AFFECTS SURVEYED PROPERTY, PLOTTED HEREIN.
 - 10(k)-EMERGENCY ACCESS EASEMENT, D.C.C.F. No. 2004-70163, AFFECTS SURVEYED PROPERTY, PLOTTED HEREIN, NOT WITHIN TOPOGRAPHIC AREA.
 - 10(l)-ACCESS EASEMENT, VOL. 3386, PG. 326, D.C.D.R., AFFECTS SURVEYED PROPERTY, PLOTTED HEREIN.
 - 10(m)-KNOWN OR UNKNOWN MINERAL RIGHTS, LEASES, ETC., AFFECTS SURVEYED PROPERTY, NOT PLOTTABLE HEREIN.
- *ONLY THOSE ITEMS LISTED IN SCHEDULE "N" OF THE COMMENT FOR TITLE INSURANCE REFERENCED HEREIN AND RELATED ASSESS HEREIN ARE CONSIDERED IN PREPARATION OF THIS SURVEY.

BENCHMARK ELEV. 666.79'

THIS BENCH MARK IS A BENCHMARK MARK STAMPED TO THE 1983 AT APPROX. DENTON COUNTY 85 FEET EAST OF THE TEXAS AND PACIFIC RAILWAY STATION, ON U.S. HIGHWAY 371 AT A CORNER CORNER IN THE TOP OF THE NORTH END OF THE "POST" NEARLY 25 FEET WEST OF THE CENTERLINE OF THE HIGHWAY, AND 1.6 FEET WITH "S" MARKING. (DAVID 88)

TEMPORARY BENCHMARK (T.B.M.) "A" ELEV. 555.41'

BEING A BOLT-IN IN THE CONCRETE BASE OF AN AREA LIGHT LOCATED APPROXIMATELY 48.5 FEET NORTH OF A 6 INCH OAK TREE AND 10.8 FEET WEST OF 5 FEET OAK TREE, AS SHOWN ON SURVEY. (DAVID 88)

TEMPORARY BENCHMARK (T.B.M.) "B" ELEV. 559.72'

BEING A BOLT-IN IN THE CONCRETE BASE OF AN AREA LIGHT LOCATED APPROXIMATELY 43.3 FEET EAST OF A STREET SIGN AND 5.3 FEET WEST OF AN AREA LIGHT, AS SHOWN ON SURVEY. (DAVID 88)

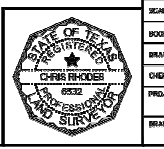
FLOOD STATEMENT: THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF LEWISVILLE, DENTON COUNTY, TEXAS AND INCORPORATED AREAS, COUNTY NO. 0803, DATED APRIL 18, 2014, INDICATES THAT THIS TRACT IS WITHIN ZONE "X" (MODERATE FLOODING), AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD FLOODPLAIN AS SHOWN ON MAP AND PANEL NO. 491200402E. THIS DETERMINATION HAS BEEN MADE BY LOCATING THE PROPERTY ON THE ABOVE REFERENCED MAP AND IS NOT THE RESULT OF AN ELEVATION SURVEY. BECAUSE THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS STATEMENT DOES NOT MEAN THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE ON BASE CONDITIONS. EXCESSIVE FLOODING AND FLOOD HEIGHTS MAY OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

- NOTES**
1. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A COMMENT FOR TITLE INSURANCE ISSUED BY ORANGE COUNTY TITLE COMPANY, OF No. 440-277240-20, EFFECTIVE DATE OF AUGUST 28, 2022, (ISSUE DATE OF SEPTEMBER 13, 2022), WITH REGARD TO ANY RECORDED EASEMENTS, RIGHTS-OF-WAY OR EASEMENTS AFFECTING THE SURVEYED PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.
 2. BENCHMARKS SHOWN HEREIN ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE.
 3. ACCORDING TO THE COMMENT FOR TITLE INSURANCE REFERENCED HEREIN, THE SURVEYED PROPERTY IS SUBJECT TO RESTRICTIONS OF RECORD IN VOL. 1, PG. 98, VOL. 4, PG. 324, VOL. 4, PG. 325, VOL. 1, PG. 48, VOL. 1, PG. 63, VOL. 1, PG. 111, VOL. 1, PG. 326 OF THE D.C.P.R. AND D.C.C.F. No. (a) 2012-280, 2023-73, 2023-108 AND 8888-CLASS.
 4. ONLY THOSE IMPROVEMENTS THAT WERE EVIDENT FROM A VISUAL INSPECTION OF THE PROPERTY ARE SHOWN ON THIS SURVEY.
 5. THE TREE SPECIES AND SIZES SHOWN HEREIN HAVE BEEN IDENTIFIED TO THE BEST OF THE SURVEYOR'S KNOWLEDGE. THE SURVEYOR CAN NOT GUARANTEE, NOR ATTEMPT, TO THE ACCURACY OF THESE IDENTIFICATIONS. IF CERTIFICATION OF THIS INFORMATION IS REQUIRED, PLEASE CONTACT A LICENSED URBAN FORESTER OR ARBORIST FOR CONFIRMATION.

TO: WALK-MART STORES, INC.

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY, AND THAT THIS PROFESSIONAL SERVICE SUBSTANTIALLY CONFORMS TO THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY 5, CONDITION II, SURVEY.

CHES RHODES
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO.: 6532



REVISED APRIL 30, 2024 TO ADD TITLE INFO
REVISED JULY 26, 2024 TO UPDATE SCHEDULE B TABLE AND VERIFY MAP SCALE.

DATE	08/17/24
SCALE	1" = 20'
BOOK	NO. J.A.
BRANCH	BLH/P.L.P.
ORDERED BY	M.L.
PROJECT NO.	CS 23122
DRAWING NO.	1 OF 1

10000 NEUTROPY TRAMP, SUITE #200
HASTON, TEXAS 77446
OFFICE: (713) 938-9101

Civil-Surv
Land Surveying, LLC

TEXAS No. 18142800
Email: richard@civil-survey.com

Kimley-Horn
640 WALKER PARKWAY SUITE 210 FRISCO, TX 75034
PHONE: 972-336-3800
WWW.KIMLEY-HORN.COM

NOT FOR CONSTRUCTION

TOPOGRAPHIC SURVEY

SAM'S CLUB FUEL STATION #6381
751 W. MAIN ST.
LEWISVILLE, TX

LOT 4-R1R, BLOCK C | VALLEY RIDGE BUSINESS PARK WEST
0.750 ACRES ZONED GENERAL BUSINESS
REQUESTED USE: GASOLINE SERVICE STATION

REVISIONS

No.	DATE	BY
0	05/06/24	AF
1	07/08/24	AF
2	09/03/24	AF
3	10/02/24	AF

PROFESSIONAL

PLOT DATE: 10/2/2024

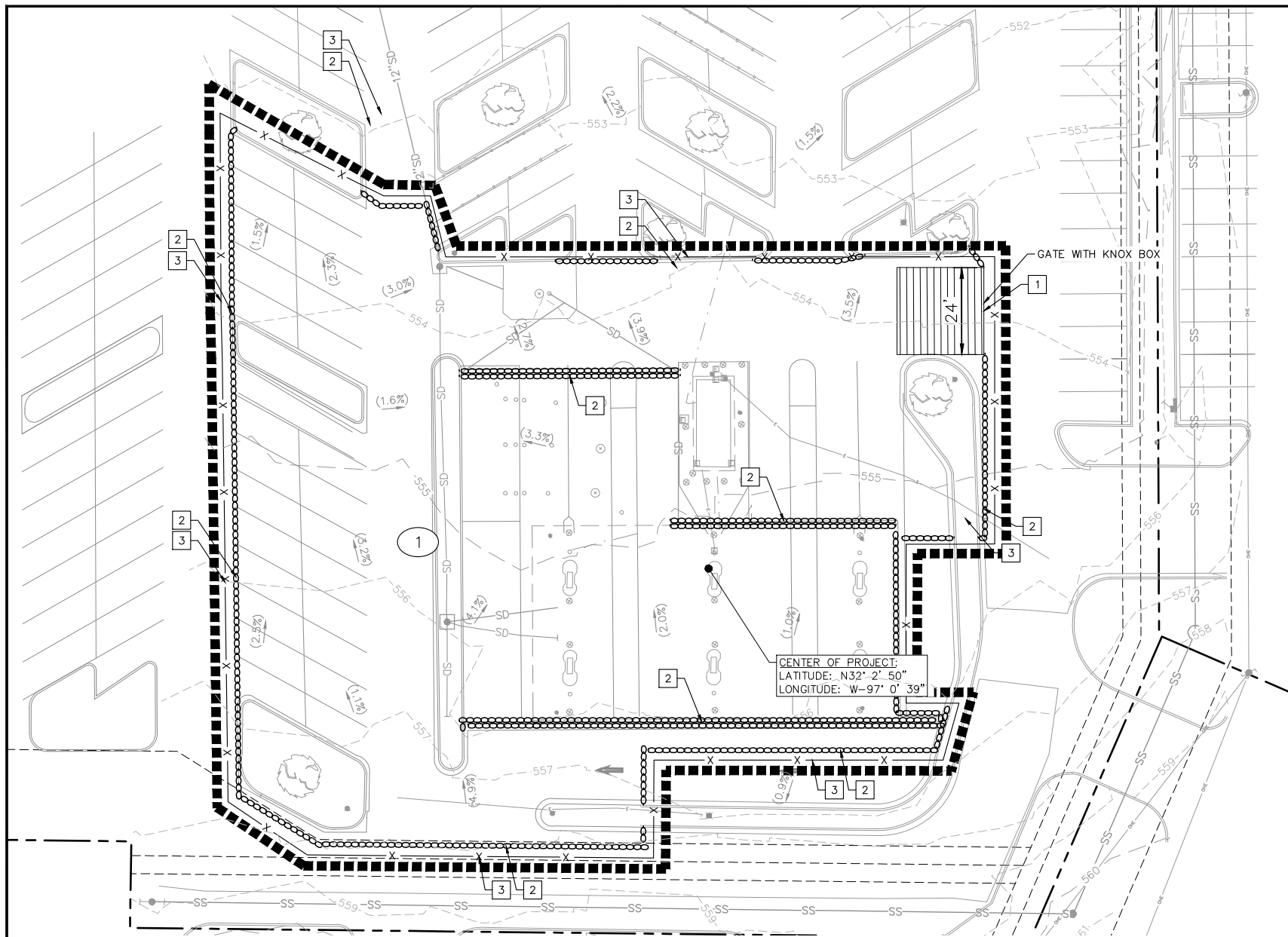
SCALE: AS SHOWN

DESIGNED BY: AF

DRAWN BY: AF

CHECKED BY: RA

SHEET NUMBER C2.0



EROSION AND SEDIMENTATION CONTROL PLAN

NOTES

1. THERE ARE NO WETLANDS PRESENT ON THIS SITE.
2. CONTRACTOR TO ENSURE PONDING DOES NOT OCCUR IN PUBLIC ROW AT ANY TIME DURING CONSTRUCTION.
3. CONTRACTOR TO INSTALL BMPs AS NECESSARY IN EACH PHASE TO PREVENT SEDIMENT FROM LEAVING EACH PHASE.
4. NO STAGING OR STORAGE ALLOWED IN DETENTION POND. ANY AREA USED FOR SOIL STORAGE TO HAVE SILT FENCE INSTALLED AROUND PERIMETER OF THE PILE.

FLOOD NOTE

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF LEWISVILLE, DENTON COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 480195, DATED APRIL 18, 2011, INDICATES THAT THIS TRACT IS WITHIN ZONE "X" UNSHADED, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGES FLOODPLAIN, AS SHOWN ON MAP AND PANEL NO. 48121C0545G. WARNING: IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOOD CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIVABILITY ON THE PART OF THE ENGINEER OF RECORD.

BENCHMARK

NGS PID# DN0706 BEING A BENCHMARK DISK STAMPED N 946 1946' AT ARGYLE, DENTON COUNTY, 86 FEET EAST OF THE TEXAS AND PACIFIC RAILWAY STATION, ON U.S. HIGHWAY 377, AT A CONCRETE CULVERT, IN THE TOP OF THE NORTH END OF THE WEST HEADWALL, 27 FEET WEST OF THE CENTERLINE OF THE HIGHWAY, AND LEVEL WITH THE HIGHWAY. (NAVD 88)

LATITUDE: N33° 2' 50"
LONGITUDE: W-97° 0' 39"

LIMITS OF DISTURBANCE

CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ELIMINATE TRACK-OUT FROM THE AREAS WITHIN THE LIMITS OF DISTURBANCE. NO STOCKPILING, TEMPORARY STORAGE OR STAGING OF EITHER NEW, SALVAGED OR WASTE MATERIAL SHALL BE ALLOWED BEYOND THE LIMITS OF BMP PROTECTED AREAS. AREAS BEYOND BMP LIMITS BUT WITHIN THE LIMITS OF DISTURBANCE MAY BE USED FOR CONTRACTOR PARKING. ANY GROUND DISTURBING ACTIVITIES BEYOND THE DEFINED LIMITS OF DISTURBANCE ARE STRICTLY PROHIBITED.

ALERT TO CONTRACTOR:

1. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED AS INDICATED IN THE GEOTECHNICAL REPORT FOR THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
2. ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

NOTE TO GENERAL CONTRACTOR:
PRIOR TO CONSTRUCTION, GC MUST CLEARLY DELINEATE AND MARK OFF AREAS IDENTIFIED IN THE SWPPP OR IN THE FIELD, TO BE PROTECTED (SUCH AS, NATURAL BUFFERS, TREES, HABITATS OF ENDANGERED/THREATENED SPECIES, HISTORIC PROPERTIES, ETC.)

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- 555 EXISTING CONTOUR
- PROPOSED LIMITS OF DISTURBANCE
- (X.X%) DIRECTION OF EXISTING OVERLAND FLOW W/GRADE
- SD EXISTING STORMDRAIN
- ROCK SOCK SEDIMENT CONTROL
- X TEMPORARY CONSTRUCTION FENCE
- CONSTRUCTION ENTRANCE/EXIT

TOTAL DISTURBED AREA: 0.81 ACRES

EROSION CONTROL NOTES

- 1 RUMBLE STRIP CONSTRUCTION ENTRANCE/EXIT PER DETAIL 1, SHEET C3.1.
- 2 ROCK SOCK SEDIMENT CONTROL PER DETAIL 3, SHEET C3.1.
- 3 TEMPORARY CONSTRUCTION FENCE PER DETAIL 2, SHEET C3.1.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH SWPPP IMPLEMENTATION SEQUENCE, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- ALL DENUDED/BARE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING AND/OR BLANKETS. COMPLETION MUST BE ACHIEVED WITHIN 7 DAYS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND/OR VEGETATED IMMEDIATELY, AND COMPLETED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. TEMPORARY AND/OR PERMANENT STABILIZATION SHALL BE APPLIED PER REQUIREMENTS IN THESE E&S CONTROL NOTES.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.
- ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE SITE PLANS.
- STORM WATER POLLUTANT CONTROL MEASURES INSTALLED DURING CONSTRUCTION, THAT WILL ALSO PROVIDE STORM WATER MANAGEMENT AFTER CONSTRUCTION, ARE INCLUDED IN THE CONTRACT DOCUMENTS. THE SITE-SPECIFIC POST CONSTRUCTION STORM WATER OPERATION AND MAINTENANCE (O&M) MANUAL IS INCLUDED IN THE CONTRACT DOCUMENTS.
- ALL PERMANENT CONTROLS AND SYSTEMS MUST BE INSTALLED AND FUNCTIONING AS DESIGNED AND FREE OF ACCUMULATED SEDIMENT AND DEBRIS DURING FINAL PROJECT INSPECTION AND APPROVAL.

EROSION CONTROL SCHEDULE AND PHASING

THE PROJECT SHALL GENERALLY CONFORM TO THE FOLLOWING PHASING SCHEDULE. REFERENCE THE TPDES GENERAL PERMIT FOR DETAILED REQUIREMENTS.

PHASE 1 - DEMOLITION

- INSTALL PERIMETER BMPs INCLUDING GRAVEL BAGS AND ALL OTHER NECESSARY BMPs ACCORDING TO THE LOCATION SHOWN ON THE EROSION CONTROL PLAN. CLEAR ONLY THE MINIMUM AREA REQUIRED TO INSTALL BMPs.
- SET THE PROJECT OFFICE TRAILER (IF NECESSARY) AND PREPARE TEMPORARY PARKING AND STORAGE AREAS.
- DENOTE DATE OF BMPs INSTALLATION AND MAINTENANCE ON SITE-MAPS.
- BEGIN DEMOLITION AND CLEARING OF THE LIMITS OF DISTURBANCE.
- STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WHENEVER CLEARING, GRADING, OR EARTH DISTURBING ACTIVITIES HAVE CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED AND WILL NOT RESUME WITHIN 14 DAYS PER GENERAL PERMIT REQUIREMENTS

PHASE 2 - GRADING

- ENSURE APPROPRIATE BMPs ARE IN PLACE DOWNSTREAM OF SITE WORK OR WHERE RUNOFF MAY EXIST THE SITE.
- BEGIN GRADING THE SITE.
- SEED AND RE-VEGETATE SLOPES AS AREAS ARE BROUGHT TO GRADE OR STOCKPILES THAT WILL REMAIN INACTIVE FOR 14 DAYS PER GENERAL PERMIT REQUIREMENTS.

PHASE 3 - PAVING

- KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
- STABILIZE SUBGRADE.
- PAVE PARKING LOT AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.

PHASE 4 - LANDSCAPING AND DEVELOPMENT

- INSTALL PERMANENT STABILIZATION.
- REMOVE EROSION CONTROL DEVICES WHEN FINAL STABILIZATION IS ACHIEVED PER THE TPDES GENERAL PERMIT.
- STABILIZE ANY AREAS DISTURBED BY REMOVAL OF BMPs.

SOIL EROSION NOTE

- 1 SOIL TYPE: ASPHALT SURFACING ABOVE CLAY AND SHALY CLAY WITH VERY HIGH SHRINK/SWELL POTENTIAL.

NO.	REVISIONS	DATE	BY
0	INITIAL SUBMITTAL TO CITY	05/06/24	AF
1	REVISION-1 PER CITY COMMENTS	07/08/24	AF
2	REVISION-2 PER CITY COMMENTS	09/03/24	AF
3	REVISION-3 PER CITY COMMENTS	10/02/24	AF



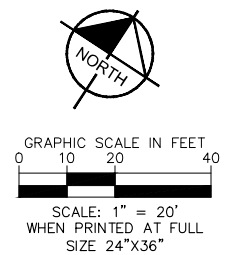
NOT FOR CONSTRUCTION

PLOT DATE	AS SHOWN	AF
10/2/2024	DESIGNED BY	AF
	DRAWN BY	AF
	CHECKED BY	RA

EROSION AND SEDIMENTATION CONTROL PLAN

SAM'S CLUB FUEL STATION #6381
751 W. MAIN ST.
LEWISVILLE, TX
LOT 4 - RTR, BLOCK C | VALLEY RIDGE BUSINESS PARK WEST
0.750 ACRES ZONED GENERAL BUSINESS
REQUESTED USE: GASOLINE SERVICE STATION

SHEET NUMBER
C3.0

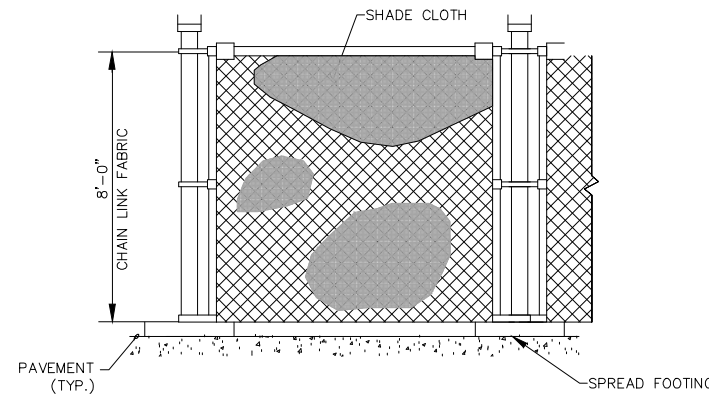


DEVELOPER/OWNER:
SAM'S REAL ESTATE
BUSINESS TRUST.
P.O. BOX 8050
MAILSTOP 0555
BENTONVILLE, AR 72712

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.



- NOTES:**
- CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION FENCE IN ACCORDANCE WITH TEXAS BUILDING CODE AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
 - CONTRACTOR SHALL MAINTAIN THE FENCING THROUGHOUT THE CONSTRUCTION PROCESS TO ENSURE ADEQUATE PERFORMANCE, TO PREVENT NUISANCE AND TO MAINTAIN PUBLIC HEALTH, SAFETY AND WELFARE.
 - CONTRACTOR SHALL CONTACT CITY PRIOR TO INSTALLING THE TEMPORARY FENCE AND OBTAIN ALL APPLICABLE CLEARANCES/APPROVALS.

LAST REVISED: JUNE 2013
 CEC STANDARD DETAIL

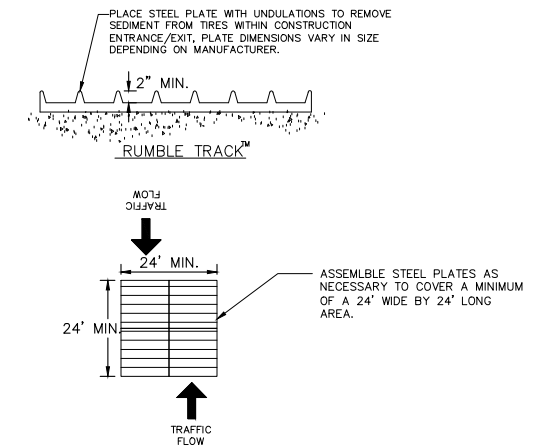
2 TEMPORARY CONSTRUCTION FENCE
 N.T.S.

DEVELOPER/OWNER:
 SAM'S REAL ESTATE
 BUSINESS TRUST.
 P.O. BOX 8050
 MAILSTOP 0555
 BENTONVILLE, AR 72712

SITE OPERATOR/GENERAL CONTRACTOR:

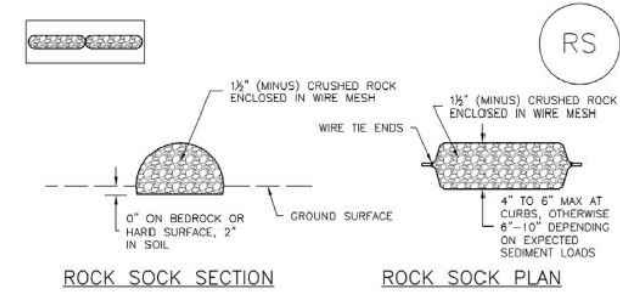
SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.



- NOTES:**
- CONTRACTOR TO USE RUMBLE TRACK OR EQUIVALENT PRODUCT APPROVED BY EOR.
 - DIMENSIONS OF THE COMBINED STEEL PLATES SHOULD BE A MINIMUM OF 24' WIDE
 - CONTRACTOR TO FASTEN THE PLATES TO THE EXISTING ASPHALT AS NECESSARY.

1 CONSTRUCTION ENTRANCE / EXIT
 SCALE: N.T.S.



ANY GAP AT JOINT SHALL BE FILLED WITH AN ADEQUATE AMOUNT OF 1/2" (MINUS) CRUSHED ROCK AND WRAPPED WITH ADDITIONAL WIRE MESH SECURED TO ENDS OF ROCK REINFORCED SOCK. AS AN ALTERNATIVE TO FILLING JOINTS BETWEEN ADJOINING ROCK SOCKS WITH CRUSHED ROCK AND ADDITIONAL WIRE WRAPPING, ROCK SOCKS CAN BE OVERLAPPED (TYPICALLY 12-INCH OVERLAP) TO AVOID GAPS.

GRADATION TABLE	
SIEVE SIZE	MASS PERCENT PASSING SQUARE MESH SIEVES
NO. 4	
2"	100
1 1/2"	90 - 100
1"	20 - 55
3/4"	0 - 15
3/8"	0 - 5

MATCHES SPECIFICATIONS FOR NO. 4 COARSE AGGREGATE FOR CONCRETE PER AASHTO M4.3. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES.

- ROCK SOCK INSTALLATION NOTES**
- SEE PLAN VIEW FOR: -LOCATION(S) OF ROCK SOCKS.
 - CRUSHED ROCK SHALL BE 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1/2" MINUS).
 - WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2", RECOMMENDED MINIMUM ROLL WIDTH OF 48"
 - WIRE MESH SHALL BE SECURED USING "HOG RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
 - SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

RS-1, ROCK SOCK PERIMETER CONTROL
 N.T.S.

LAST REVISED: JUNE 2013
 CEC STANDARD DETAIL

3 ROCK SOCK
 N.T.S.

NO.	REVISIONS	DATE
0	INITIAL SUBMITTAL TO CITY	
1	REVISION-1 PER CITY COMMENTS	05/06/24 AF
2	REVISION-2 PER CITY COMMENTS	07/08/24 AF
3	REVISION-3 PER CITY COMMENTS	09/03/24 AF
		10/02/24 AF

Kimley-Horn
 640 WARREN PARKWAY SUITE 210 FRODO, TX 75034
 PHONE: 972-336-3800
 WWW.KH-HORN.COM

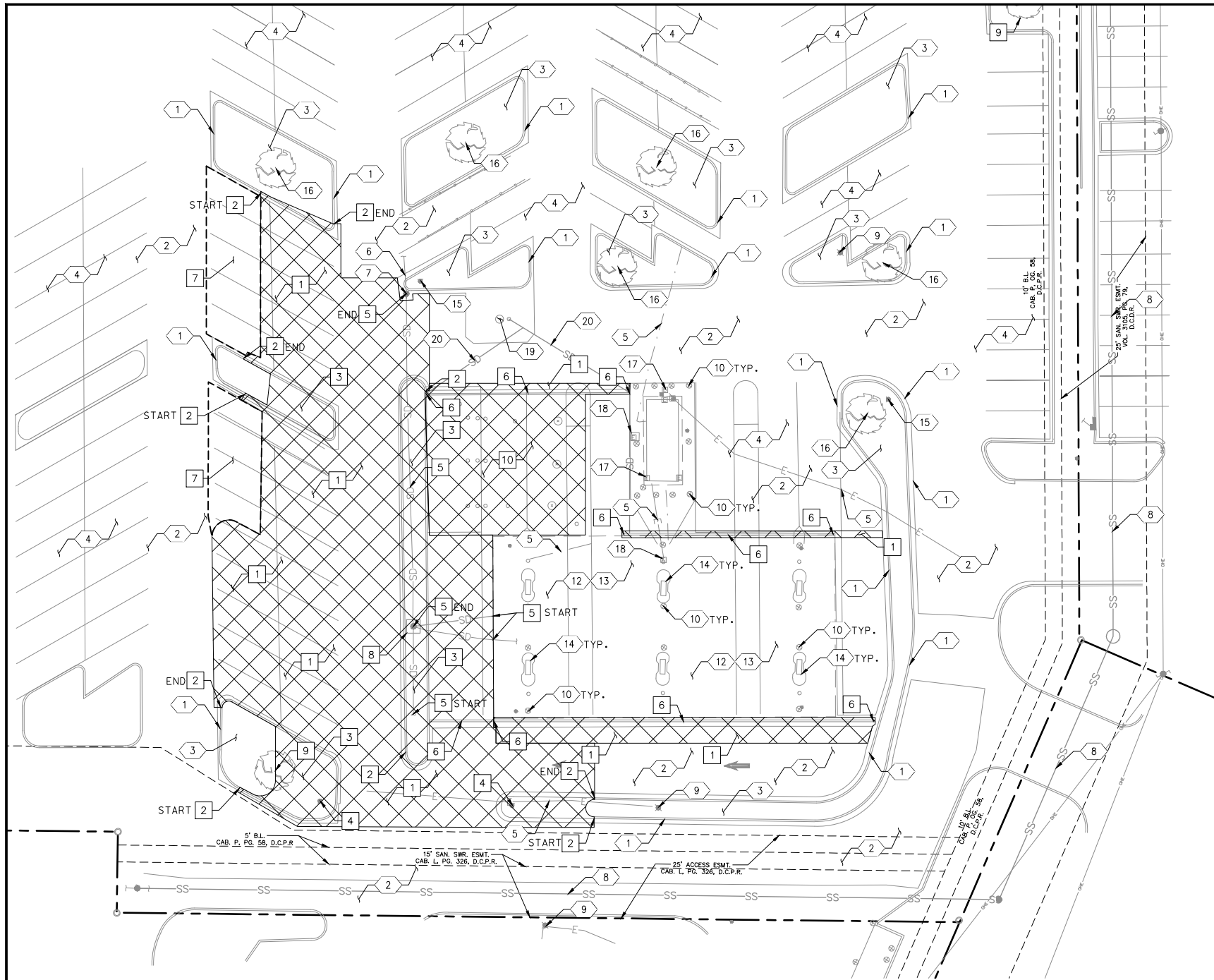
LICENSED PROFESSIONAL
 NOT FOR CONSTRUCTION

PLOT DATE: 10/2/2024
 SCALE: AS SHOWN
 DESIGNED BY: AF
 DRAWN BY: AF
 CHECKED BY: RA

EROSION AND SEDIMENTATION CONTROL DETAILS

SAM'S CLUB FUEL STATION #6381
 751 W. MAIN ST.
 LEWISVILLE, TX
 LOT 4 - RTR BLOCK C | VALLEY RIDGE BUSINESS PARK WEST
 0.750 ACRES ZONED GENERAL BUSINESS
 REQUESTED USE: GASOLINE SERVICE STATION

SHEET NUMBER
 C3.1



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- DEMO AREA
- SEAL COAT AND ERADICATE STRIPING

PROTECT-IN-PLACE NOTES

- 1 PROTECT-IN-PLACE EXISTING CONCRETE CURB AND GUTTER.
- 2 PROTECT-IN-PLACE EXISTING EXISTING ASPHALT PAVEMENT.
- 3 PROTECT-IN-PLACE EXISTING LANDSCAPE.
- 4 PROTECT-IN-PLACE EXISTING STRIPING. ALL STRIPING WITHIN FUEL STATION AREA TO BE RE-STRIPED.
- 5 PROTECT-IN-PLACE EXISTING UNDERGROUND ELECTRICAL LINE.
- 6 PROTECT-IN-PLACE EXISTING EXISTING STORM DRAIN LINE.
- 7 PROTECT-IN-PLACE EXISTING EXISTING STORM DRAIN STRUCTURE.
- 8 PROTECT-IN-PLACE EXISTING SANITARY SEWER LINE.
- 9 PROTECT-IN-PLACE EXISTING LIGHT POLE.
- 10 PROTECT-IN-PLACE EXISTING BOLLARD.
- 11 PROTECT-IN-PLACE EXISTING FUEL VAULT/HANDHOLE.
- 12 PROTECT-IN-PLACE EXISTING EXISTING CONCRETE PAVEMENT.
- 13 PROTECT-IN-PLACE EXISTING CANOPY.
- 14 PROTECT-IN-PLACE EXISTING FUEL PUMP.
- 15 PROTECT-IN-PLACE EXISTING SIGN.
- 16 PROTECT-IN-PLACE EXISTING TREE.
- 17 PROTECT-IN-PLACE EXISTING ELECTRICAL EQUIPMENT.
- 18 PROTECT-IN-PLACE EXISTING AIR PEDESTAL.
- 19 PROTECT-IN-PLACE EXISTING OIL/WATER SEPARATOR.
- 20 PROTECT-IN-PLACE EXISTING PVC STORM DRAIN PIPE.

DEMOLITION NOTES

- 1 DEMO EXISTING ASPHALT PAVEMENT AND BASE COURSE.
- 2 DEMO EXISTING CONCRETE CURB AND GUTTER AND BASE COURSE IF ENCOUNTERED.
- 3 DEMO EXISTING CONCRETE CURBED LANDSCAPED ISLAND AND BASE COURSE IF ENCOUNTERED. REMOVE EXISTING TREE AND ROOTS ASSOCIATED IF ENCOUNTERED. RE-ROUTE IRRIGATION TO ALLOW FLOW THROUGH REST OF SYSTEM.
- 4 DEMO AND REMOVE EXISTING SIGN AND FOOTING.
- 5 DEMO AND REMOVE EXISTING STORM DRAIN PIPE.
- 6 DEMO AND REMOVE EXISTING TRENCH DRAIN.
- 7 ERADICATE STRIPING AND SEAL COAT AREA.
- 8 DEMO EXISTING STORM DRAIN JUNCTION BOX. REFER TO SHEET C6.0 FOR STORM DRAIN IMPROVEMENTS.
- 9 DEMO EXISTING TREE AND ROOT BALL.
- 10 DEMO EXISTING CONCRETE PAVEMENT FOR INSTALLATION OF NEW TANK LIDS AND PRODUCT. REFER TO SHEET FSD1 AND CONCRETE DEMOLITION NOTES FOUND ON SHEET FSS1 AND FST1 FOR MORE INFORMATION.

NOTES

ALL DEMOLITION UNDER THE EXISTING OVERHEAD CANOPY AND UNDERGROUND FUEL TANK CONCRETE PAVEMENT IS SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL SHEET FSA1 FOR EXACT DEMOLITION ITEMS AND LIMITS.

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LICENSED PROFESSIONAL
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	CHECKED BY	RA

DEMOLITION PLAN

SAM'S CLUB FUEL STATION #6381
751 W. MAIN ST.
LEWISVILLE, TX
LOT 4 - RTR. BLOCK C | VALLEY RIDGE BUSINESS PARK WEST
 0.750 ACRES ZONED GENERAL BUSINESS
 REQUESTED USE: GASOLINE SERVICE STATION

SHEET NUMBER
C4.0

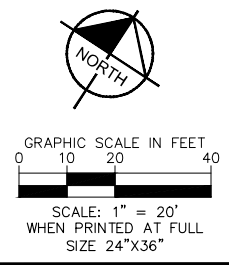


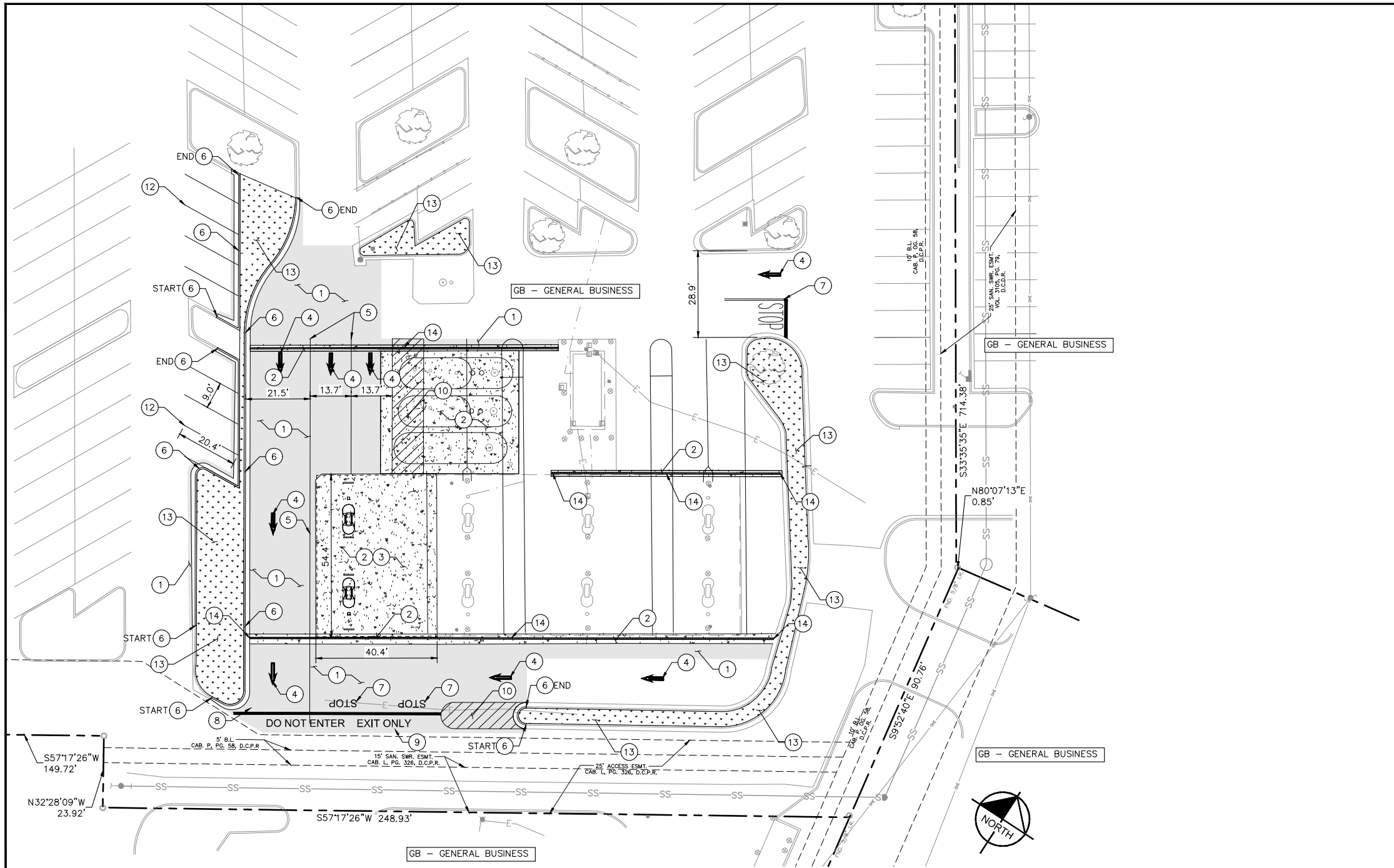
ALERT TO CONTRACTOR:

- THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE, WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER. PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
- ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

ALERT TO CONTRACTOR

- THE SITEWORK FOR THE WALMART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE 'SITE SPECIFIC SPECIFICATIONS.'
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.
- ATTENTION IS DRAWN TO THE POSSIBILITY DRAWING SCALE MAY BE DISTORTED DURING REPRODUCTION.





LEGEND

- PROPERTY LINE
- EASEMENT LINE
- HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED LANDSCAPING
- CONCRETE PAVEMENT

CONSTRUCTION NOTES

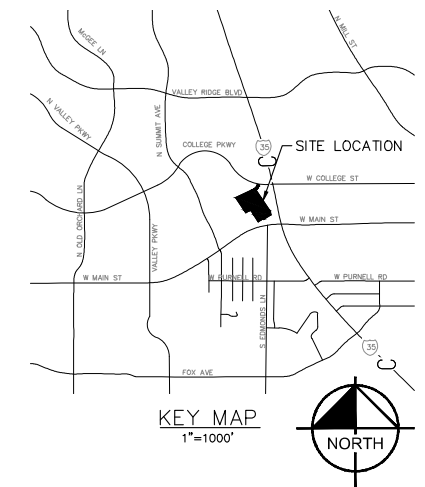
- 1 PROPOSED HEAVY DUTY ASPHALT PAVEMENT. PER DETAIL 1, SHEET C5.1.
- 2 PROPOSED CONCRETE PAVEMENT. REFER TO SHEET FSS1 FOR MORE INFORMATION.
- 3 PROPOSED OVERHEAD CANOPY. REFER TO SHEETS FSA1 AND FSA1.1 FOR MORE INFORMATION.
- 4 STRIPE DIRECTIONAL ARROW PAVEMENT MARKING PER DETAIL 4, SHEET C5.1.
- 5 STRIPE QUEUING LANE. QUEUING LANE TO MATCH EXISTING STRIPING. STRIPED OR SOLID QUEUE LANE SPECIFIED PER PLANS.
- 6 PROPOSED CONCRETE CURB AND GUTTER PER DETAIL 2, SHEET C5.1.
- 7 STRIPE STOP BAR PAVEMENT MARKING PER DETAIL 3, SHEET C5.1.
- 8 PROPOSED "ENTRANCE" PAVEMENT PARKING.
- 9 PROPOSED "EXIT ONLY" PAVEMENT MARKING.
- 10 STRIPE WHITE 4" STRIPE, 60 DEGREES, SPACED AT 24" O.C.
- 11 PROPOSED STOP SIGN ON POST PER DETAIL 5, SHEET C5.1 AND DETAIL 6, SHEET C5.1.
- 12 STRIPE REGULAR PARKING STALLS TO MATCH EXISTING PARKING STALLS. DIMENSIONS PER PLAN.
- 13 PROPOSED LANDSCAPING. REFER TO SHEET 6500 AND SHEET 6600 FOR MORE INFORMATION.
- 14 PROPOSED CONCRETE TRENCH DRAIN. REFER TO SHEET C6.0 AND C6.1 FOR MORE INFORMATION. FOR CONCRETE PAVEMENT SURROUNDING TRENCH DRAIN REFER TO SHEET FFS1.

NOTES

GENERAL CONTRACTOR TO RE-STRIPE ALL EXISTING STRIPING WITHIN FUEL STATION AREA. MINIMUM OF 2 COATS FOR RE-STRIPING.

LANDSCAPE INFORMATION	
TOTAL LANDSCAPE REMOVED, SQUARE FEET	1,641 SQ. FT.
TOTAL LANDSCAPE ADDED, SQUARE FEET	1,734 SQ. FT.

FEMA FLOOD NOTE: ZONE X.



PARKING DATA TABLE											
SAM'S CLUB BUILDING INFO	AHJ PARKING REQUIRED	SAM'S CLUB PARKING REQUIRED	REGULAR PARKING STALLS PROVIDED	OPD PARKING STALLS PROVIDED	ADA PARKING STALLS PROVIDED (VAN)	CART CORRAL STALLS PROVIDED	TOTAL STALLS PROVIDED	AHJ STALLS PARKING REQUIRED	AHJ REQUIRED PARKING RATIO	TOTAL SAM'S CLUB PARKING RATIO	ECR REQUIRED PARKING RATIO (TRACT 1)
SAM'S CLUB BUILDING SF (1)	SPACES	SPACES	SPACES (2,3)	SPACES (2,3)	SPACES (2,3,4)	SPACES (2,3)	SPACES (2,3)	SPACES (2,3)	SPACES (2,3)	SPACES (3)	
EXISTING 136,483 SF	455 (1SP/300SF)	546 (1SP/250SF)	380	16	15	20	431	412	3.02 SP / 1,000 SF	3.16 SP / 1,000 SF	5.50 SP / 1,000 SF
PROPOSED 136,483 SF	455 (1SP/300SF)	546 (1SP/250SF)	361	16	15	20	412	412	3.02 SP / 1,000 SF	3.02 SP / 1,000 SF	5.50 SP / 1,000 SF

*CART CORRALS WERE NOT INCLUDED IN THE FINAL COUNT FOR THE NUMBER OF PARKING STALLS PROVIDED IN BOTH THE AHJ AND SAM'S CLUB PARKING RATIO.
 *REQUIRED ECR PARKING RATIO INCLUDES NEIGHBORING LOTS, KNOWN AS TRACT 1, AS SHOWN ON DOCUMENT 1996-57435 OF THE OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS.

CAUTION!
 CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



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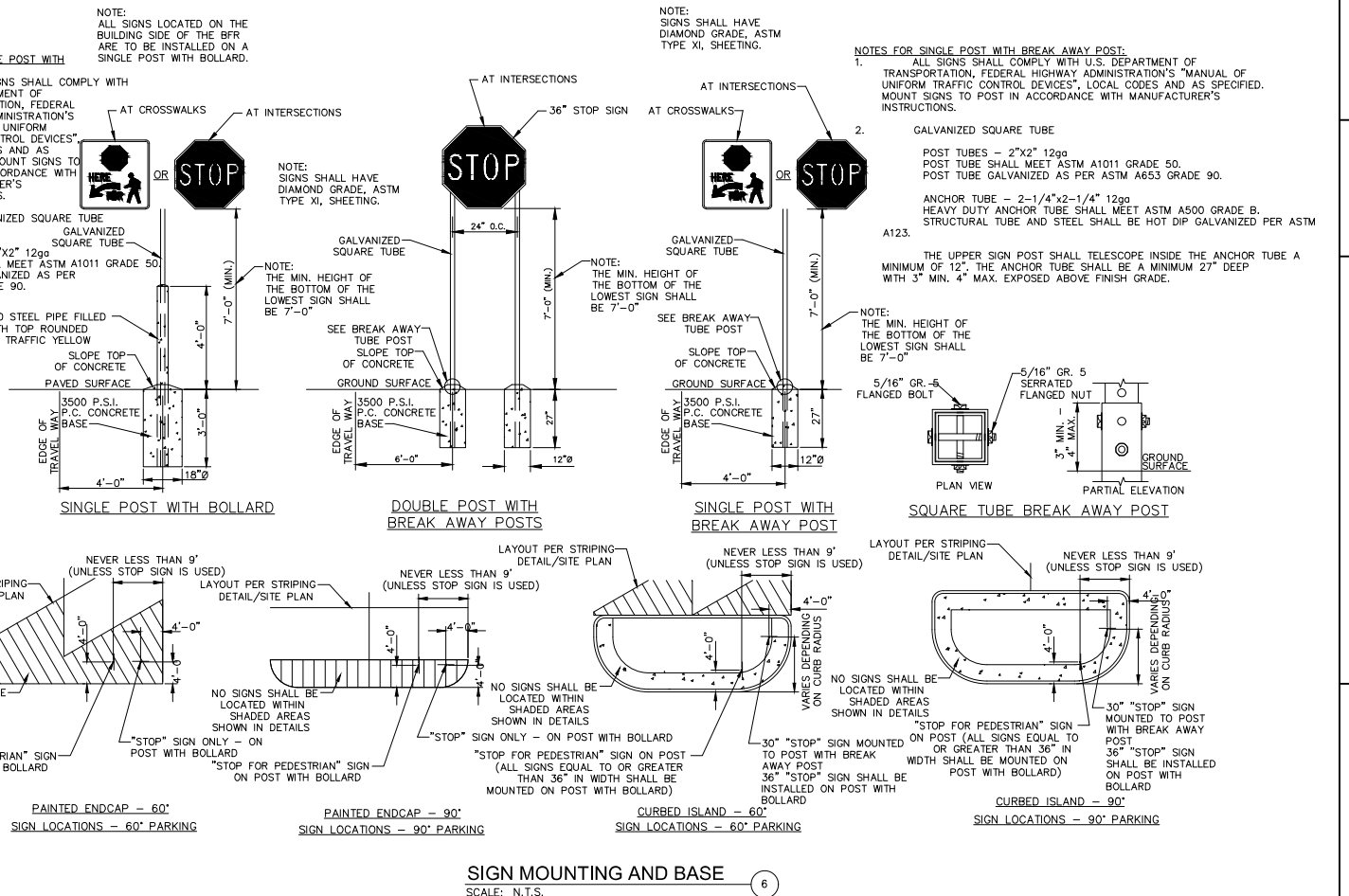
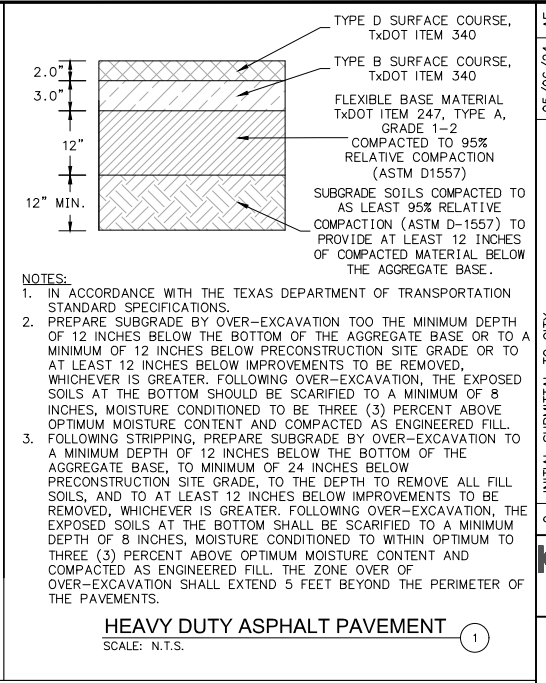
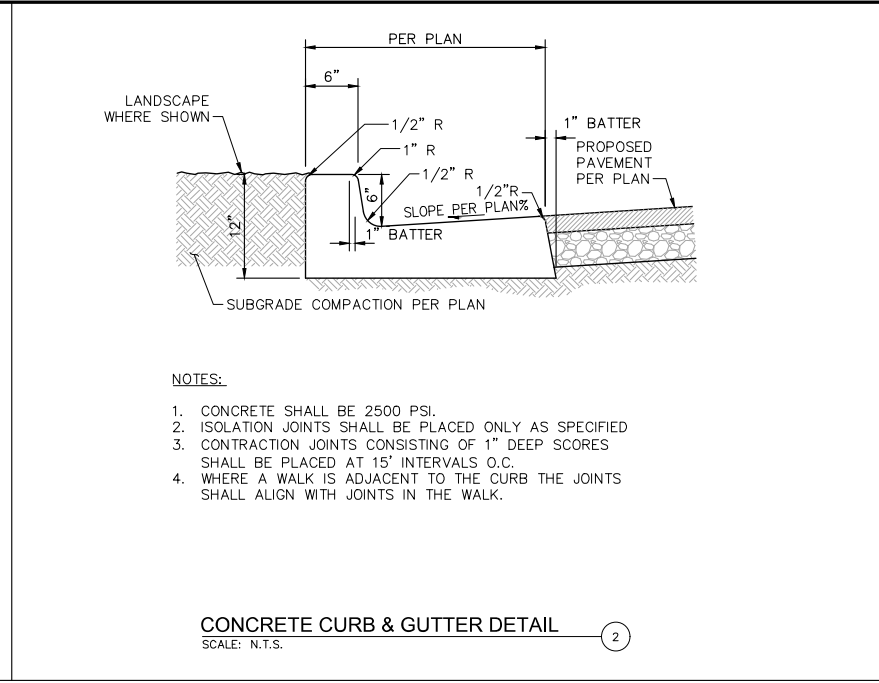
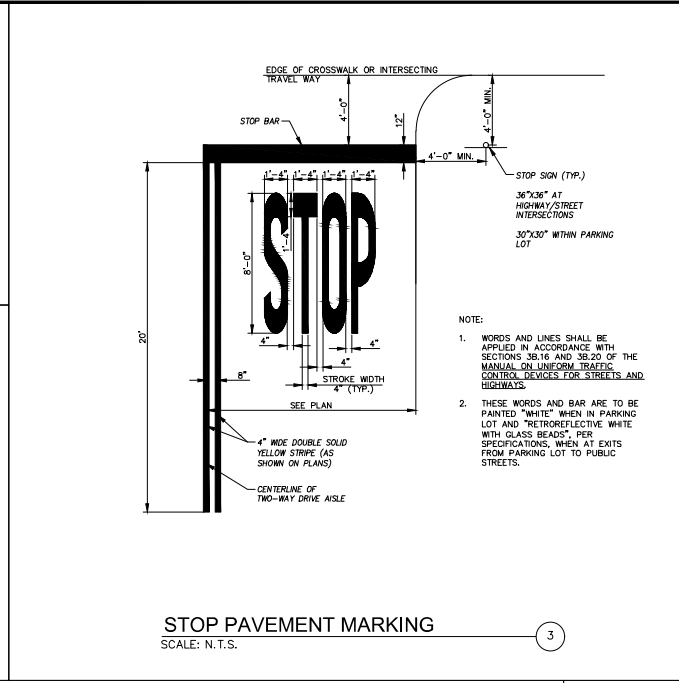
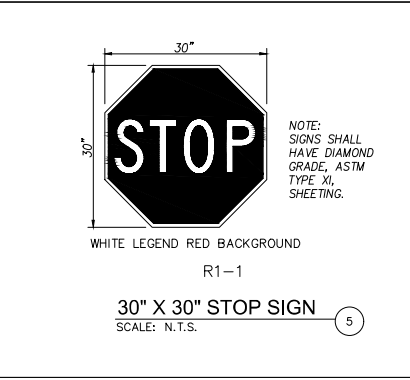
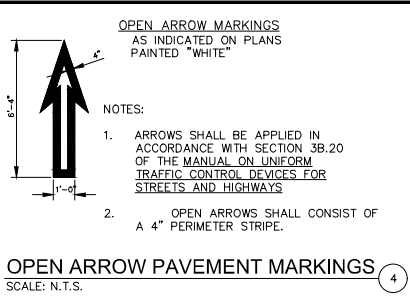
NOT FOR CONSTRUCTION

PLOT DATE: 10/2/2024
 SCALE: AS SHOWN
 DESIGNED BY: AF
 DRAWN BY: AF
 CHECKED BY: RA

SITE PLAN

SAM'S CLUB FUEL STATION #6381
 751 W. MAIN ST.
 LEWISVILLE, TX
 LOT 4 - RTR. BLOCK C | VALLEY RIDGE BUSINESS PARK WEST
 0.750 ACRES ZONED GENERAL BUSINESS
 REQUESTED USE: GASOLINE SERVICE STATION

SHEET NUMBER
C5.0



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		10/02/24	AF

Kimley-Horn
6540 WARREN PARKWAY SUITE 210 FREGO, TX 75043
PHONE: 972-336-3900
WWW.KIMLEY-HORN.COM

NOT FOR CONSTRUCTION

DESIGNED BY: AF
DRAWN BY: AF
CHECKED BY: RA

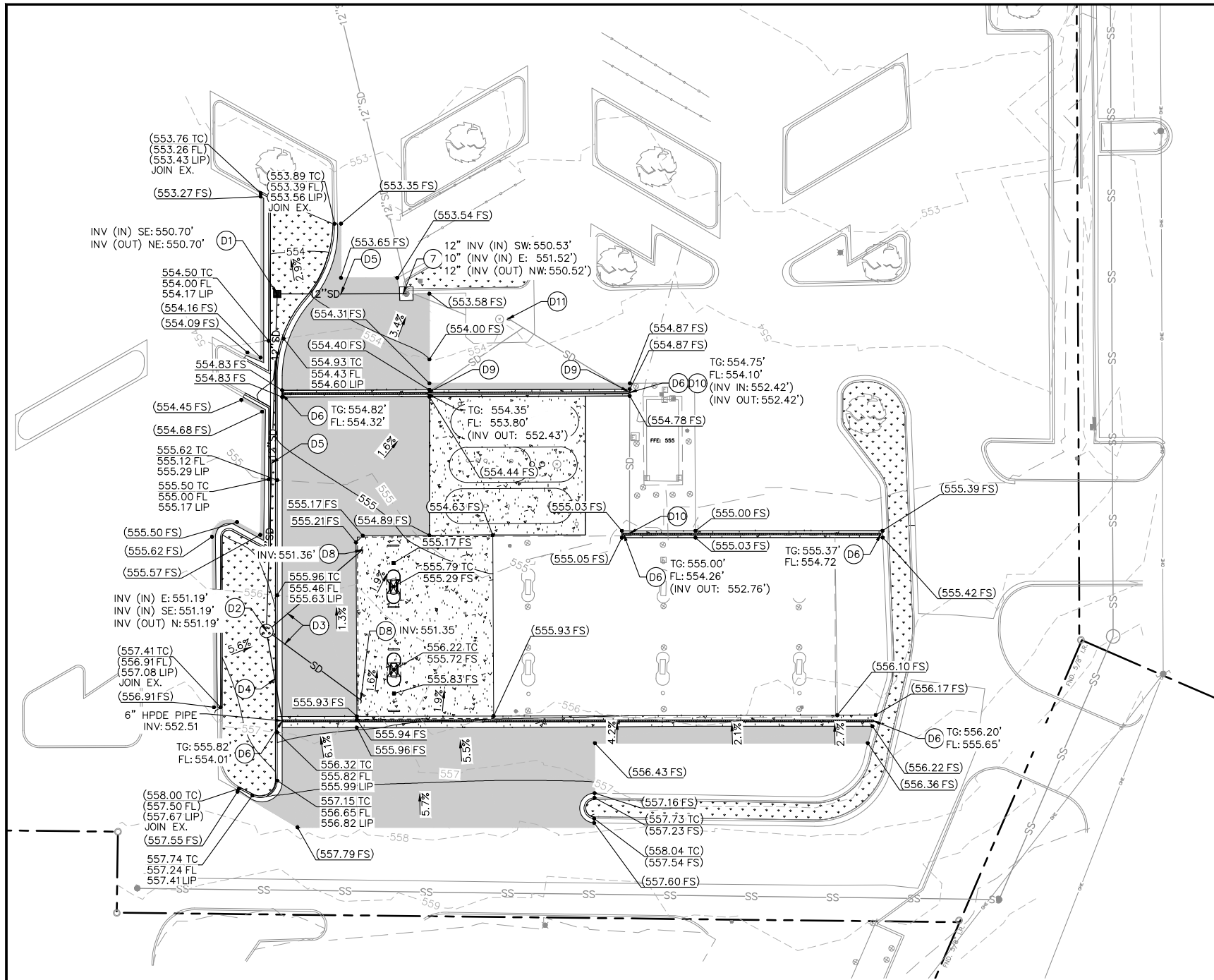
PLOT DATE: 10/2/2024

SITE DETAILS 1

SAM'S CLUB FUEL STATION #6381
751 W. MAIN ST.
LEWISVILLE, TX

LOT 4 - RTR BLOCK C | VALLEY RIDGE BUSINESS PARK WEST
0.750 ACRES ZONED GENERAL BUSINESS
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SHEET NUMBER
C5.1



GRADING LEGEND

---	PROPERTY LINE
---	555 PROPOSED CONTOUR
---	555 EXISTING CONTOUR
-R-	RIDGE LINE
-GB-	GRADE BREAK LINE
FF	FINISH FLOOR ELEVATION
FL	FLOWLINE
LIP	LIP OF GUTTER
TC	TOP OF CURB
FS	FINISH SURFACE
(555.50 TC) (555.00 FS)	EXISTING GRADE
(555.50 TC) (555.00 FS)	PROPOSED GRADE
[Pattern]	HEAVY DUTY ASPHALT PAVING
[Pattern]	PROPOSED LANDSCAPING
[Pattern]	CONCRETE PAVEMENT
X.XX	PROPOSED SLOPE

STORM DRAIN NOTES:

- (D1) PROPOSED 18"x18" STORM DRAIN JUNCTION BOX PER OLD CASTLE PRECAST JUNCTION BOX DETAIL ON SHEET C6.1.
- (D2) PROPOSED 48" MANHOLE WITH A 35" ECCENTRIC OPENING PER OLD CASTLE PRECAST 48" STORM MANHOLE DETAIL ON SHEET C6.1.
- (D3) PROPOSED 4" PVC SDR 26 STORM DRAIN PIPE.
- (D4) PROPOSED 6" HDPE STORM DRAIN PIPE.
- (D5) PROPOSED 12" REINFORCED CONCRETE STORM DRAIN PIPE.
- (D6) PROPOSED SIOUX CHIEF HEAVY DUTY TRENCH DRAIN (LOAD CLASS C) OR APPROVED EQUAL PERFORATED GRATE TO BE ADA COMPLIANT.
- (D7) PROPOSED CONNECTION TO EXISTING JUNCTION BOX.
- (D8) PROPOSED CONNECTION TO ROOF DRAINAGE SYSTEM. REFER TO ARCHITECTURAL SHEETS FOR MORE INFORMATION.
- (D9) POINT OF CONNECTION TO EXISTING 10" PVC PIPE.
- (D10) POINT OF CONNECTION TO EXISTING 6" PVC PIPE.
- (D11) EXISTING OIL/WATER SEPARATOR.

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY INVERTS IN FIELD AND NOTIFY CEC IF INVERT VARIES, PRIOR TO INSTALLATION.
2. EXISTING STORM DRAIN CANOPY ROOF DRAIN POINT OF CONNECTIONS UNDER THE EXISTING CANOPY CONCRETE SLAB WERE TAKEN FROM "AS-BUILT" PLANS AND MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS.
3. ALL TRENCH DRAIN GRATES AROUND FUEL STATION CANOPY TO BE ADA ACCESSIBLE AND HEEL PROOF OR BETTER.

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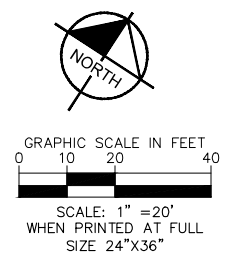
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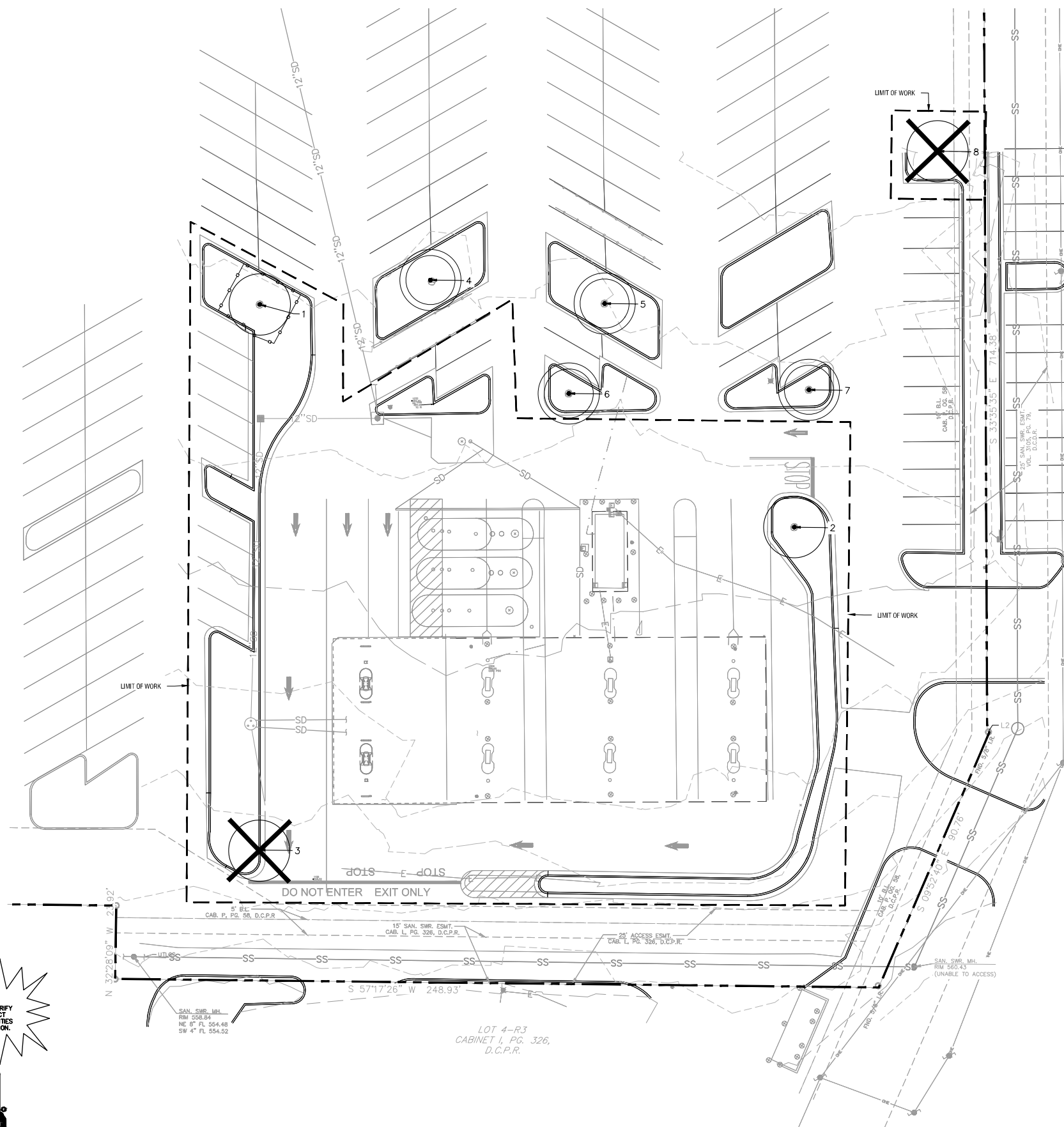
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CHECKED BY	RA

GRADING AND DRAINAGE PLAN





SAM'S CLUB FUEL STATION #6381
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SHEET NUMBER
C6.0





TREE PRESERVATION LEGEND

-  EXISTING TREE TO BE PRESERVED OUTSIDE THE LIMIT OF WORK LINE
-  EXISTING TREE TO BE PRESERVED WITHIN THE LIMIT OF WORK LINE
-  EXISTING TREE TO BE REMOVED WITHIN THE LIMIT OF WORK LINE
-  TREE PROTECTION FENCE

Inside - Limit of Work					
Tree #	DBH	Species	Status	Mitigation Inches	Preserved Inches
1	14"	Shumard Oak	Remain	N/A	14"
2	6"	Shumard Oak	Remain	N/A	N/A
3	12"	Live Oak	Remove	12"	N/A
8	12"	Chinese Pistache	Remove	N/A	N/A

Outside - Limit of Work					
Tree #	DBH	Species	Status	Mitigation Inches	Preserved Inches
4	14"	Shumard Oak	Remain	N/A	N/A
5	12"	Shumard Oak	Remain	N/A	N/A
6	6"	Shumard Oak	Remain	N/A	N/A
7	5"	Shumard Oak	Remain	N/A	N/A


Total Mitigation Inches	24"
Total Preserved Inches	14"
Total Additional Inches (Refer to Landscape Plan)	12"

*Tree preservation credits may be used to offset the required replacement of protected trees required herein.

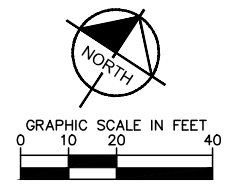
TREE PRESERVATION AND REMOVAL NOTES

- CONTRACTOR SHALL COORDINATE WITH ISA CERTIFIED ARBORIST AND PROPERTY OWNERS TO VERIFY OBJECTIVES PRIOR TO COMMENCING ANY PRUNING OR TREE REMOVAL ACTIVITIES.
- ALL CREW MEMBERS SHOULD BE WEARING THE APPROPRIATE SAFETY GEAR: HARD HATS, EYE PROTECTION, APPROVED BOOTS, HEARING PROTECTION, CHAIN SAW CHAPS FOR GROUNDWORK.
- ANY TREES REMOVED, AND ALL TREE MATERIALS REMOVED SHALL BE REMOVED FROM THE PROPERTY AT THE CONTRACTOR'S EXPENSE.
- ALL TRASH AND DEBRIS FROM ANY CONSTRUCTION RELATED ACTIVITIES SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE, FOLLOWING COMPLETION OF THE PROJECT.
- ANY DAMAGE TO THE EXISTING LANDSCAPE, PAVEMENT, BUILDING, OR ANY OTHER SITE FEATURES SHALL BE REPLACED BY THE CONTRACTOR AND/OR RESTORED TO PRE-CONSTRUCTION CONDITION.
- CONTACT LANDSCAPE ARCHITECT AFTER ALL TREE PROTECTION REQUIREMENTS HAVE BEEN INSTALLED FOR FINAL INSPECTION PRIOR TO COMMENCEMENT OF DEMOLITION.
- TREE TRUNKS MUST BE CUT AT GROUND LEVEL WHERE REMOVAL OF A TREE MAY DAMAGE ROOT SYSTEMS OF AN ADJACENT TREE.
- ALL ROOTS TWO INCHES OR LARGER IN CALIPER, WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION, SHALL BE CUT OFF SQUARE.

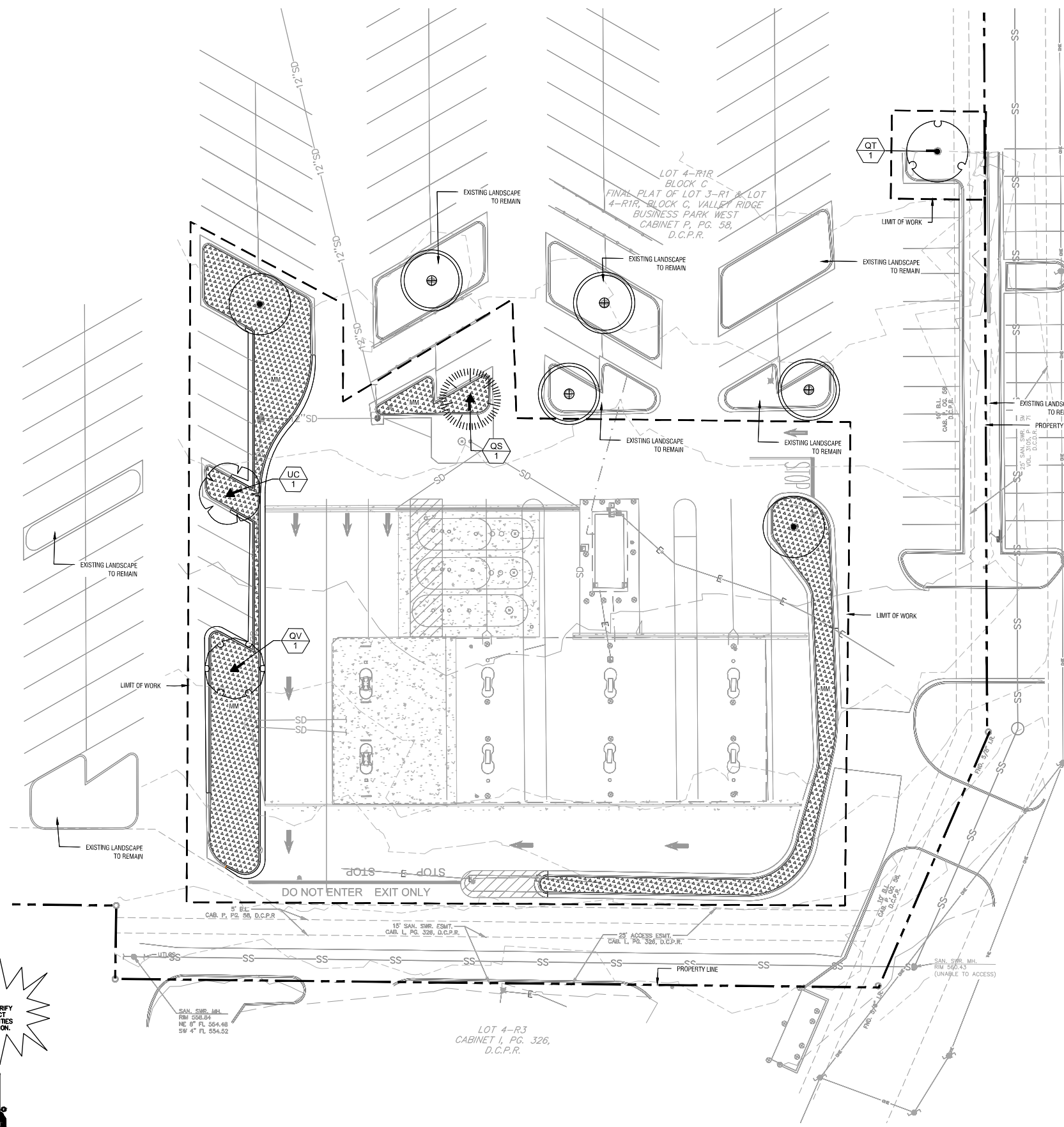
CAUTION!
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



Know what's below.
Call before you dig.



<p>TREE PRESERVATION PLAN</p>	<p>SAM'S CLUB FUEL STATION #6381 751 W. MAIN ST. LEWISVILLE, TX</p> <p>LOT 4 - RTR. BLOCK C VALLEY RIDGE BUSINESS PARK WEST 0.750 ACRES ZONED GENERAL BUSINESS REQUESTED USE: GASOLINE SERVICE STATION</p>						
<p>PLOT DATE 10/1/2024</p> <p>SCALE AS SHOWN</p> <p>DESIGNED BY KAE</p> <p>DRAWN BY KAE</p> <p>CHECKED BY LMC</p>	<p>SHEET NUMBER 6500</p>						
<p>Kimley-Horn</p> <p>6160 WARREN PARKWAY SUITE 210 FRODO, TX 76034 PHONE: 817-336-3800 WWW.KH-CO.COM</p>	<p>REGISTERED LANDSCAPE ARCHITECT STATE OF TEXAS</p>						
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	DATE	BY				<p>BY</p> <p>DATE</p>
No.	DATE	BY					



CITY OF LEWISVILLE LANDSCAPE REQUIREMENTS		
LANDSCAPE STANDARDS	REQUIRED	PROVIDED
No more than 30% of required trees shall be the same species. (Section VIII.3.3.H)	YES	YES
PARKING LOT STANDARDS	REQUIRED	PROVIDED
Each landscape island must contain one (1) three-inch (3") caliper shade tree. (Section VIII.3.3.C) Within Limit of Work.	6 TREES	6 TREES

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
TREES					
(Symbol)	EX	2	Existing Tree / Protect in Place	Existing	Existing Tree To Be Preserved Within The Limit of Work Line.
(Symbol)	EX2	4	Existing Tree / Protect in Place	Existing	Existing Tree To Be Preserved Outside The Limit of Work Line.
(Symbol)	QS	1	Quercus shumardii / Shumard Red Oak	3" cal, 14' ht, 5'-6" spr	Full, Straight, Single Leader
(Symbol)	QT	1	Quercus texana / Texas Red Oak	3" cal, 16' ht, 6" spr	Full, Straight, Single Leader
(Symbol)	QV	1	Quercus virginiana / Southern Live Oak	3" cal, 16' ht, 6" spr	Full, Straight, Single Leader
(Symbol)	UC	1	Ulmus crassifolia / Cedar Elm	3" cal, 14' ht, 6" spr	Full, Straight, Single Leader

MISC

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS
(Symbol)	MM	TBD	Mineral Mulch	4" depth to be utilized within all interior plantings.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

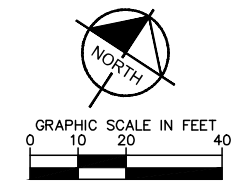
NOTE: ALL PROPOSED LANDSCAPE PLANTING AREAS TO BE EXCAVATED TO A MINIMUM DEPTH OF 24" AS NECESSARY TO CONTAIN APPROPRIATE PLANTING MIX AS SPECIFIED IN SECTION 2900, PART 2.5 TOPSOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITIES, IRRIGATION LINES, WIRING, STRUCTURES, LANDSCAPE, ETC. WHICH ARE SCHEDULED TO BE RETAINED/REUSED.

NOTE: CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.

LANDSCAPE NOTES:

- ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL. SEE 2900 SPECIFICATION.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE PERIOD OF TIME SHOWN IN THE 02900 SPEC.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD DEFINED IN THE 02900 SPEC. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
- AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD MULCH OR MINERAL MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF FOUR INCHES.
- REFER TO WALMART SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
- WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN AS NEEDED. TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE, THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
- THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
- ALL INVASIVE, EXOTIC SPECIES AND PROHIBITED TREE SPECIES SHALL BE REMOVED FROM SITE, INCLUDING ROOT BALLS TO THE EXTENT POSSIBLE WITH NO DAMAGE TO ADJACENT EXISTING TREES.
- EXISTING TREES TO BE CORRECTIVELY PRUNED BY A CERTIFIED ARBORIST WITH THE DIRECTION OF THE LANDSCAPE ARCHITECT.

PERMANENT GRASS CHART		
SYMBOL	ACREAGE	VARIETY
SOD	0	Common Bermuda
		SEEDING RATE
		N/A



CAUTION!!
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BY		DATE	
REVISIONS			
No.			

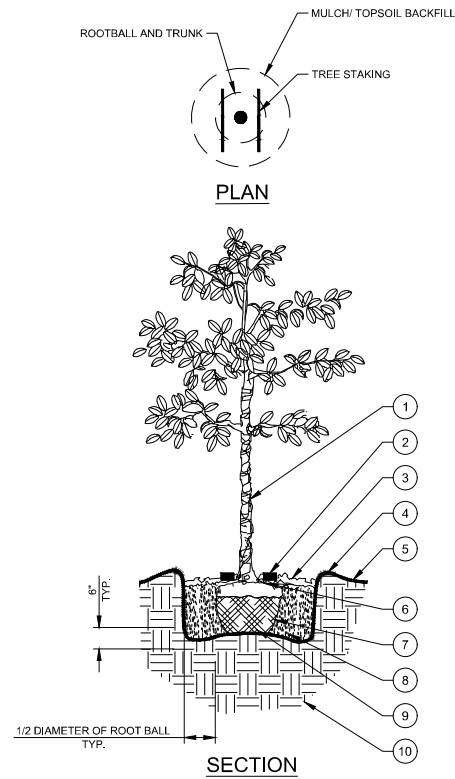
Kimley-Horn
6160 WARREN PARKWAY SUITE 210 FREDRICK, TX 76734
PHONE: 972-336-3800
WWW.KH-HORN.COM

PLOT DATE: 10/1/2024
SCALE: AS SHOWN
DESIGNED BY: KAE
DRAWN BY: KAE
CHECKED BY: LMC

LANDSCAPE PLAN

SAM'S CLUB FUEL STATION #6381
751 W. MAIN ST.
LEWISVILLE, TX
LOT 4 - RTR, BLOCK C | VALLEY RIDGE BUSINESS PARK WEST
0.750 ACRES ZONED GENERAL BUSINESS
REQUESTED USE: GASOLINE SERVICE STATION

SHEET NUMBER
6600



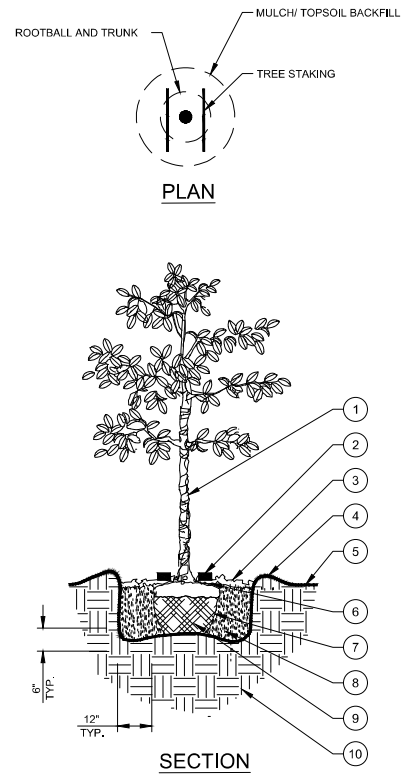
LARGE TREE PLANTING (14' OR GREATER)

NTS

NOTES:

- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
- D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
- E. BRANCHING HEIGHT TO A.A.N. STANDARDS.

- 1. TREE WRAP.
- 2. Tree Frog® RBK40pt FOR UP TO 4" TREE CALIPER OR Tree Frog® RBK60pt FOR GREATER THAN 4" AND UP TO 6" TREE CALIPER. REFER TO SITEWORK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
- 3. 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
- 4. 3" HIGH SOIL BERM TO HOLD WATER.
- 5. FINISHED GRADE (SEE GRADING PLAN).
- 6. TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
- 7. B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
- 8. PREPARED PLANTING SOIL AS SPECIFIED.
- 9. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- 10. UNDISTURBED SUBSOIL.



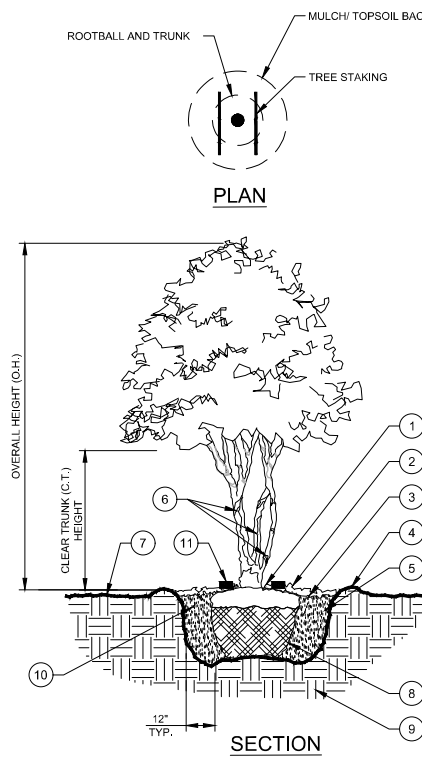
SMALL TREE PLANTING (14' OR LESS)

NTS

NOTES:

- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
- D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
- E. BRANCHING HEIGHT TO A.A.N. STANDARDS.

- 1. TREE WRAP.
- 2. Tree Frog® RBK40pt FOR UP TO 4" TREE CALIPER OR Tree Frog® RBK60pt FOR GREATER THAN 4" AND UP TO 6" TREE CALIPER. REFER TO SITEWORK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
- 3. 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
- 4. 3" HIGH SOIL BERM TO HOLD WATER.
- 5. FINISHED GRADE (SEE GRADING PLAN).
- 6. TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
- 7. B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
- 8. PREPARED PLANTING SOIL AS SPECIFIED.
- 9. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- 10. UNDISTURBED SUBSOIL.



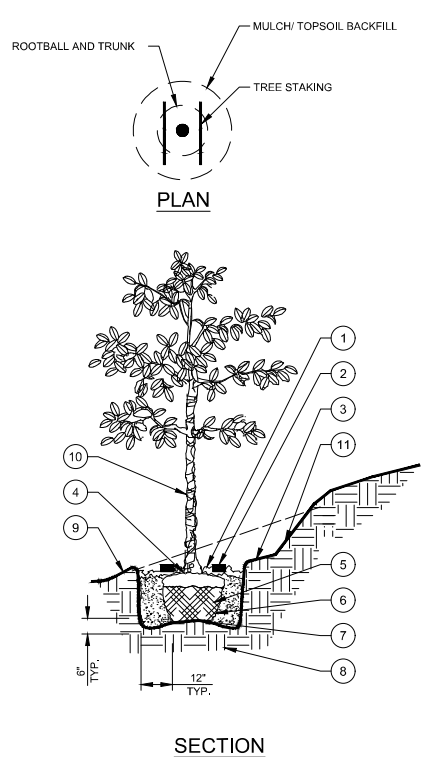
MULTI-TRUNK TREE PLANTING

NTS

NOTES:

- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- B. SET TREE AT ORIGINAL DEPTH. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL. NO SYNTHETIC BURLAP WILL BE ACCEPTED.
- C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
- D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
- E. BRANCHING HEIGHT TO A.A.N. STANDARDS.

- 1. BASE OF TREE SHALL BE PLANTED SLIGHTLY ABOVE (1" MIN.) ADJACENT FINISH GRADE. REMOVE ALL TWINE & STRAPS & CUT BURLAP FROM TOP 1/3 OF ROOTBALL.
- 2. 4" SHREDDED HARDWOOD MULCH OR APPROVED EQUAL.
- 3. DIAMETER OF TREE PIT TO BE TWICE THE DIAMETER OF ROOT BALL-ROUGHEN SIDES OF TREE PIT.
- 4. 3" HIGH SOIL BERM TO HOLD WATER.
- 5. TOPSOIL MIX BACKFILL.
- 6. TREE WRAP.
- 7. 4" MIN. OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
- 8. ROOT BALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- 9. UNDISTURBED SUBSOIL.
- 10. PREPARE PLANTING SOIL AS SPECIFIED.
- 11. Tree Frog® RBK40pt FOR UP TO 4" TREE CALIPER OR Tree Frog® RBK60pt FOR GREATER THAN 4" AND UP TO 6" TREE CALIPER. REFER TO SITEWORK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.



TREE PLANTING ON SLOPE

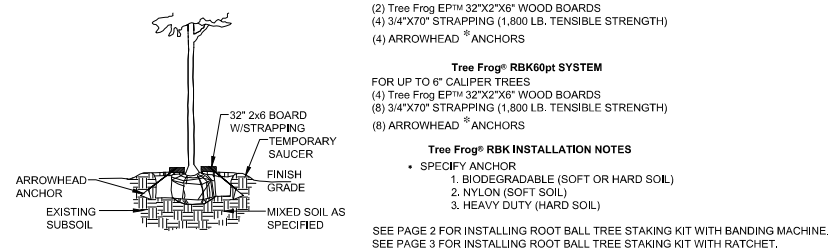
NTS

NOTES:

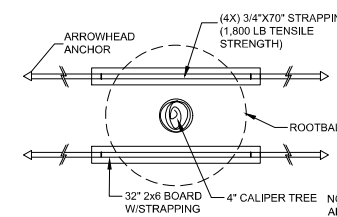
- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
- D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
- E. BRANCHING HEIGHT TO A.A.N. STANDARDS.

- 1. 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
- 2. Tree Frog® RBK40pt FOR UP TO 4" TREE CALIPER OR Tree Frog® RBK60pt FOR GREATER THAN 4" AND UP TO 6" TREE CALIPER. REFER TO SITEWORK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
- 3. BACKFILL WITH TOPSOIL IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS.
- 4. TOP OF ROOT BALL MIN. 1" ABOVE FINISHED GRADE.
- 5. B&B OR CONTAINED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
- 6. PREPARE PLANTING SOIL AS SPECIFIED.
- 7. ROOT BALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- 8. UNDISTURBED SUBSOIL.
- 9. 3" HIGH SOIL BERM TO HOLD WATER.
- 10. TREE WRAP.
- 11. CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.

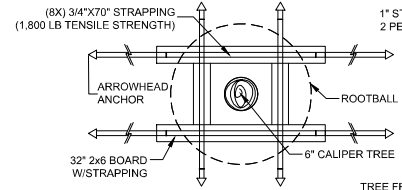
Tree Frog Environmental Products® (formerly Arborguy®) RBK40pt/RBK60pt STAKING DETAIL



Tree Frog® RBK40pt PLAN VIEW



Tree Frog® RBK60pt PLAN VIEW



Tree Frog® RBK40pt SYSTEM

- FOR UP TO 4" CALIPER TREES
- (2) Tree Frog EP™ 32"x2"x6" WOOD BOARDS
- (4) 3/4"x70" STRAPPING (1,800 LB. TENSILE STRENGTH)
- (4) ARROWHEAD® ANCHORS

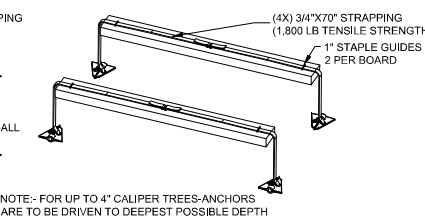
Tree Frog® RBK60pt SYSTEM

- FOR UP TO 6" CALIPER TREES
- (4) Tree Frog EP™ 32"x2"x6" WOOD BOARDS
- (8) 3/4"x70" STRAPPING (1,800 LB. TENSILE STRENGTH)
- (8) ARROWHEAD® ANCHORS

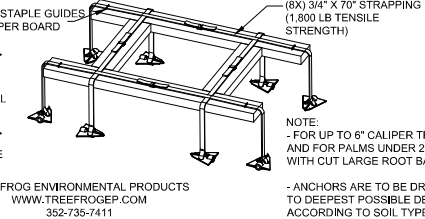
Tree Frog® RBK INSTALLATION NOTES

- SPECIFY ANCHOR
 - 1. BIODEGRADABLE (SOFT OR HARD SOIL)
 - 2. NYLON (SOFT SOIL)
 - 3. HEAVY DUTY (HARD SOIL)
- SEE PAGE 2 FOR INSTALLING ROOT BALL TREE STAKING KIT WITH BANDING MACHINE.
SEE PAGE 3 FOR INSTALLING ROOT BALL TREE STAKING KIT WITH RATCHET.

Tree Frog® RBK40pt DIAGRAM



Tree Frog® RBK60pt DIAGRAM



"TREE FROG" TREE STAKING

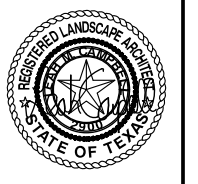
- NTS
NOTE:
- FOR AREAS WITH STRONG PREVAILING WINDS CONTACT LANDSCAPE ARCHITECT TO UTILIZE ABOVE GROUND STAKING.

TREE FROG ENVIRONMENTAL PRODUCTS
WWW.TREEFROG.COM
352-735-7411

STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)



No.	REVISIONS	DATE	BY



PLOT DATE 10/1/2024	SCALE AS SHOWN	DESIGNED BY K/AE	DRAWN BY K/AE	CHECKED BY L/MC
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TREE DETAILS

SAM'S CLUB FUEL STATION #6381
751 W. MAIN ST.
LEWISVILLE, TX
LOT 4 - RTR. BLOCK C | VALLEY RIDGE BUSINESS PARK WEST
0.750 ACRES ZONED GENERAL BUSINESS
REQUESTED USE: GASOLINE SERVICE STATION

SHEET NUMBER
6610

