

## **Prologis Park at Corporate Drive DEVELOPMENT STANDARDS**

### **I. PROJECT LOCATION**

PROPERTY consists of +/- 52 acres of land located both on the north and south sides of Corporate Drive, east of Huffines Boulevard, and more generally described in the attached Master Plan.

### **II. PURPOSE AND INTENT**

A. **Purpose:** The purpose of the district is to allow for warehouse/distribution and light manufacturing uses at the Property. No Special Use Permit shall be required in connection with this development or any future changes in use so long as the use remains consistent with those categories.

1. The Development and Design Standards herein shall apply to the Project (defined hereinafter).

B. **Applicability:** These standards shall apply to development within the Property.

C. **Zoning Ordinance:** All references herein to the City of Lewisville Zoning Ordinance shall be to the City of Lewisville Zoning Ordinance, as it exists or may be amended.

### **III. DEFINITIONS**

A. Unless otherwise stated, the definitions and interpretations in City of Lewisville Zoning Ordinance apply to this article.

B. PROJECT shall mean the light industrial development, as completed after the final phase of construction, which is described and depicted in this planned development district, the concept plan, and concept landscape plan.

C. TRACT 1 shall mean the parcel of land located north of Corporate Drive right-of-way as defined in the property metes and bounds Exhibit A.

D. TRACT 2 shall mean the parcel of land located south of Corporate Drive right-of-way as defined in the property metes and bounds Exhibit A.

### **IV. DEVELOPMENT REGULATIONS**

A. **Base Zoning District:** Except as otherwise provided in this section, development and use of the Property must comply with the regulations and standards applicable to the “LI” Light Industrial zoning district, as set forth in the City of Lewisville Zoning Ordinance and Unified Development Code.

**B. Concept Plans and Elevations:** The Project must comply with the concept plan, concept landscape plan, and conceptual elevations.

**C. Building Materials:** The Project will comply with the building material standards set forth in Section V.C. of these Development Standards.

**D. Parking:** The Project shall provide the following minimum off-street parking:

1. Warehouse use: 1 parking space per 2,000 square feet of gross floor area; and
2. Office use: 1 parking space per 300 square feet of gross floor area.
3. Five percent (5%) of the parking spaces must include the necessary infrastructure to accommodate the future installation of charging stations for electric vehicles. The necessary infrastructure shall include space to install charging stations, conduit, and electric capacity that is not less than 40-ampere and 208/240-volt terminating in a receptacle or junction box. Charging stations may serve multiple parking spaces.

**E. Driveway Design:** Industrial designated truck entrances shall adhere to the following:

1. Maximum Width: 40 ft
2. Minimum Radii: 20 ft

Passenger vehicle driveways shall not require deceleration lanes.

**F. Yard Requirements:**

DESCRIPTION	TRACT 1	TRACT 2	UDC LI Zoning
<b>Minimum Front Yard</b>	<b>50 ft</b> <b>(along street façade)</b>	<b>50 ft</b> <b>(along street façade)</b>	<b>25 ft</b>
<b>Minimum Side Yard</b>	<b>0 ft</b>	<b>0 ft</b>	<b>None;</b> <b>15 ft (corner lot);</b> <b>25 ft (adj to</b> <b>residential zoning)</b>
<b>Minimum Rear Yard</b>	<b>0 ft;</b> <b>50 ft (adj to</b> <b>residential zoning)</b>	<b>0 ft;</b> <b>50 ft (adj to</b> <b>residential zoning)</b>	<b>None;</b> <b>50 ft (adj to</b> <b>residential zoning)</b>

## **V. DEVELOPMENT AND DESIGN STANDARDS**

### **A. Screening, Gates and Fences:**

1. **Generally:** Except as otherwise provided in this planned development, the development of the Property shall comply with Chapter VIII.5 of the City of Lewisville Unified Development Code.
2. **Adjacencies:** Screening adjacent to residential uses shall utilize live screening and shall comply with the screening exhibit included in this PD.
3. **Truck Court Orientation:** Truck courts for Tract 1 shall be allowed to face Huffines Blvd only if the landscape standards in Section V. B. 2 of this document are met. Truck courts for Tract 2 shall be allowed to face public right-of-way only if the landscape standards in Section V. B. 2 of this document are met.

### **B. Landscape and Character Standards:**

1. **Concept Landscape Plan:** The Project shall comply with the City of Lewisville's Landscaping Ordinance and shall comply with the concept landscape plans. In the event of a conflict between the Landscaping Ordinance and the concept landscape plans, the concept landscape plans control.
2. **Character Standards:** The Project shall comply with the following character standards:
  - a. A minimum 15% caliper inches of existing protected trees on Tracts 1 & 2 combined shall be preserved, as determined by a tree survey at the time of development.
  - b. A minimum 50-foot landscape buffer shall be established along the Corporate Drive and Huffines Blvd right-of-way and shall consist of the following:
    - i. Two rows of shade trees per 30 feet of street frontage;
    - ii. One row of evergreen ornamental trees per 30 feet of street frontage;
    - iii. One row of evergreen shrubs,  
and
    - iv. Meandering berms may be provided if grading allows.
  - c. There shall be a minimum of one 3-inch caliper tree per 15 parking spaces;

d. A row of evergreen shrubs is required where parking stalls are perpendicular to a public right-of-way.

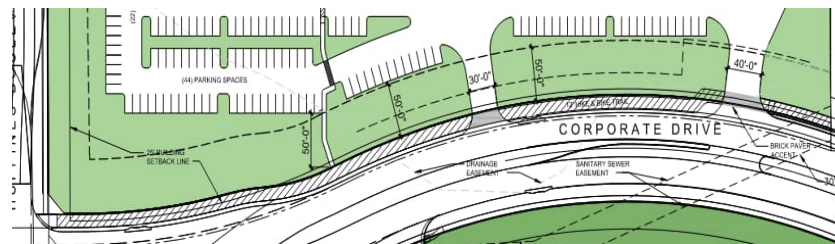
e. An irrigation plan is required for the Project and must be submitted concurrently with the engineering site plan; and

f. Additional live evergreen screening, 8ft in height Eastern Red Cedars at 10 ft on center, shall be established to screen loading docks from public rights-of-way. For Tract 1, graded berms shall be required along Huffines Road where truck docks face right-of-way and where grading allows. For north side of Tract 2, the additional live evergreen screening shall be located at the top of the retaining wall to screen the loading docks from the Corporate Drive right-of-way. For southeast side of Tract 2, the additional live evergreen screening shall be located at the top of the retaining wall to screen the loading docks from Bunker Hill right-of-way.

3. **Tree Mitigation:** Tree mitigation shall comply with Chapter VIII.4. - Tree Preservation of the UDC. Every protected tree preserved and every tree planted within Tracts 1 and 2 may be counted toward mitigation for the development.

C. **Architectural Standards:** Except as otherwise provided in this section, the development of the Property shall comply with the City of Lewisville's Architectural Standards.

1. **Building Materials:** Building facades will comply with the requirements of the UDC as permitted with a minimum 50' Landscape Buffer and will include:

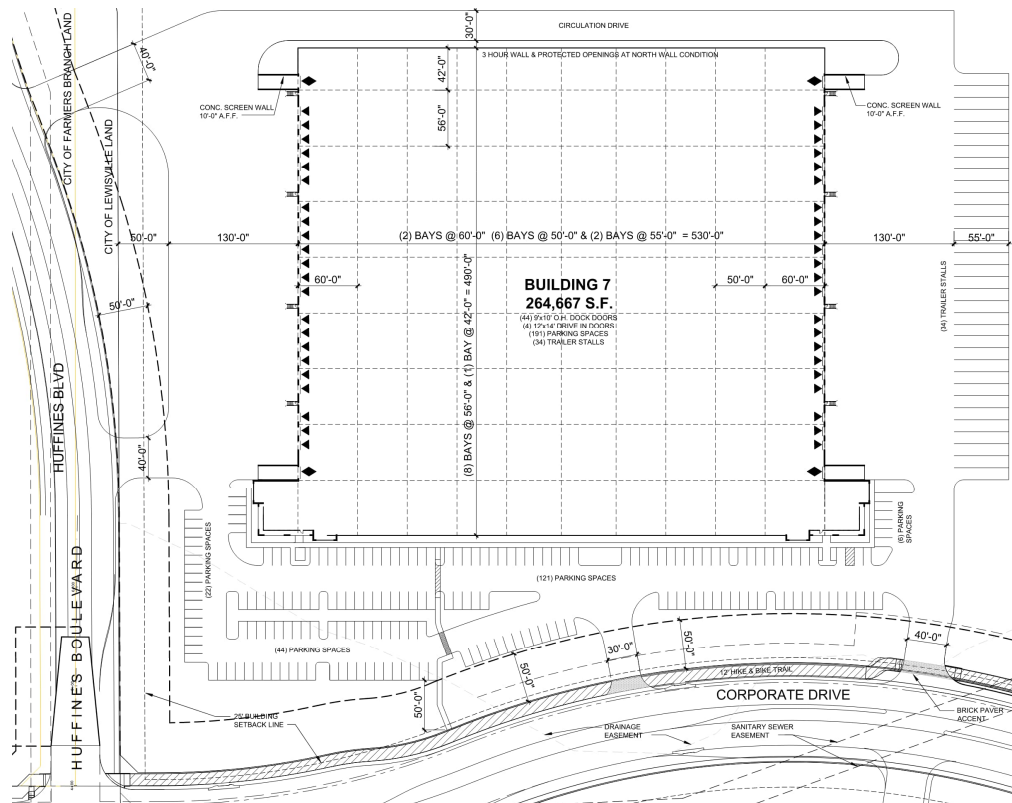


a. Tract 1 – Corporate Drive facing façade walls consisting of at least 12% brick or stone concentrated at the SW and SE corner Office entry features.

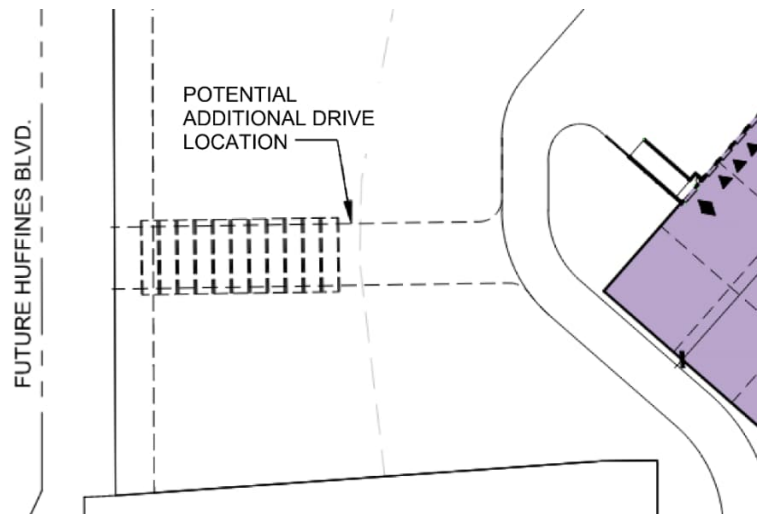
b. Tract 1 – Huffines Blvd facing facade walls consisting of 4% brick or stone concentrated at the SW corner Office entry feature.

c. Tract 1 – East facing façade walls consisting of at least 4% brick or stone concentrated at the SE corner Office entry feature.

- d. Tract 2 – Facades shall comply with the UDC Standards.
  - e. Form-liner may be utilized in addition to brick or stone, provided that elevations are included and approved as an exhibit to this PD.
  - f. Each conceptual building elevation shall provide architectural features including reveals, articulation, chamfered edges, etc., so that areas bordered by said features do not exceed an average 100 square feet in size.
  - g. A minimum of two colors must be used on each elevation. Eighty percent of each elevation must utilize natural and/or earth tone colors. In addition, each elevation may have twenty percent of another type of color if opted.
2. The building and site layout for Tract 1 may be modified as shown in the image below in order to add trailer parking on the east side of the building, provided that all other standards within this PD document are met. This also allows for revisions to the circulation drive as necessary for the added trailer parking.



3. An additional drive connection to the private road on the West side of Tract 2 may be allowed if the appropriate rights are obtained by the adjacent property owner.



## **VI. AMENITIES**

### **A. Private Improvements:**

1. Detention will be provided for the property unless the appropriate hydrology documentation is provided to the City and the City agrees detention is not required.
2. If the Project requires stormwater detention pond(s), they will be privately maintained by either the property owner or a property owners association created by this development.
3. Trail: There shall be a 12-foot trail within a 16-foot dedication located from Bunker Hill to Corporate Drive as well as a segment in the northwest corner of Tract 2 as shown in the attached Conceptual Walking Trail Exhibit consistent with Parks and Recreation Design Standards. A minimum of one trail head (min 20'x20' concrete) and minimum of 3 benches and trash receptacles as shown on the Walking Trail Exhibit shall be provided.

## **VII. ALTERNATIVE DEVELOPMENT STANDARDS**

### **A. Truck Courts Facing Right-of-Way:**

1. Truck courts on Tract 1 shall be allowed to face the right-of-way of Huffines Boulevard given the development standards in this PD are met.
2. Truck courts on Tract 2 shall be allowed to face the right-of-way given the development standards in this PD are met.

**B. Landscaping along Public Right-of-Way**

1. To allow the existing topography and vegetation to serve in lieu of new berms and planting in addition to the 50-foot landscape buffer and trees as shown on the landscape exhibit.

**C. Screening along Residential Use Adjacency**

1. To allow the existing vegetation within a 175-foot setback to provide adequate screening in lieu of the required 8' tall masonry wall and 10-foot landscape strip on the easternmost boundary of Tract 2.