



City of Lewisville, TX
Planning and Zoning Commission
Agenda

151 W Church Street
Lewisville, Texas 75057

Tuesday, August 5, 2025

6:30 PM

Council Chambers

Regular Session - 6:30 P.M.

A. Call to Order and Announce that a Quorum is Present.

B. Approval of Minutes

1. [Consider the Minutes of July 15, 2025 Regular Meeting.](#)

C. Regular Hearings

2. [Regular Hearing: Vacation of the Final Plat of Kingswood Hills Addition, Containing 136 Single Family Detached Lots and Nine Open Space Lots; on 47.641 Acres, Out of R. F. Hardin Survey, Abstract Number 613, the D. Cook Survey, Abstract Number 234, the T. A. West Survey, Abstract Number 1345, and the B. Schoonover Survey, Abstract Number 1209; Zoned Planned Development \(PD-ETH\) District; Located on the East Side of Josey Lane Approximately 3,000 feet South of Windhaven Parkway \(24-05-2-FPCP\)](#)
3. [Tabled Regular Hearing: Consideration of One Alternative Standard to I-35E Corridor Overlay District Standards Associated With Screening Loading Areas; on 26.84 Acres, Located on the North Side of Valley Ridge Boulevard Approximately 1,000 Feet West of the Intersection of Valley Ridge Boulevard and North Mill Street; Legally Described as Valley Ridge Business Park East, Block B, Lots 3, 4 and 6; Zoned Light Industrial \(LI\) District, as Requested by Iris Herrejon, of Kimley-Horn, on Behalf of the Owner, Constellation REP. \(25-03-4-AltStd\)](#)

D. Public Hearings

4. [Public Hearing: Consideration of a Special Use Permit for an Automobile Repair \(Minor\) Facility on Approximately 0.972 Acres, Legally Described as Bennett Park Center Addition, Lot 1, Block A, Located at 519 Bennett Lane, and Zoned Light Industrial \(LI\) District; as Requested by Timothy Gotcher, EcoPal Mobile Detail LLC, on Behalf of KJS Properties, LLC, the Property Owner. \(Case No. 25-03-3-SUP\).](#)
5. [Public Hearing: Consideration of a Special Use Permit for a Gasoline Service Station on Approximately 0.582 Acres, Legally Described as Lot 1, Block A, Mobil Oil Addition, Located at 1298 West Main Street, and Zoned Local Commercial \(LC\) District; as Requested by MD Mozharul Islam, Civil Urban Associates, INC., on Behalf of Avna Realty INC, the Property Owner. \(Case No. 25-05-8-SUP\).](#)
6. [Public Hearing: Consideration of a Special Use Permit for Warehouse Distribution Facility and Manufacturing, Light Intensity; on Approximately 6.986 Acres Out of The E. Aday Survey, Abstract Number 11; Located at 421 Bennett Lane & 451 Bennett Lane, Zoned Light Industrial District \(LI\) and Agricultural Open Space \(AO\) With Pending Zone Change to Light Industrial \(LI\); as Requested by Lindsey Mayer, Dynamic Engineering Consultants, PC on behalf of Eduardo & Ana Ortuno and Rafael & Alfredo Corona, the Property Owners. \(Case No. 25-04-6-SUP\).](#)

E. Other Business

7. [Selection of Chair and Vice Chair.](#)

F. Announcements

G. Adjournment

The Planning and Zoning Commission reserves the right to adjourn into closed session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Section 551.071 (Consultation with Attorney).

NOTICE OF ASSISTANCE AT THE PUBLIC MEETINGS

The City will provide appropriate auxiliary aids and services, including sign language interpreters and assisted listening devices, whenever necessary to ensure effective communication with members of the public who have hearing, sight or speech impairments, unless doing so would result in a fundamental alteration of its programs or an undue financial burden. A person who requires an accommodation or auxiliary aid or service to participate in a City program, service or activity, should contact the sponsoring Department, or the Human Resource Department at 972-219-3450 or by Fax at 972-219-5005 as far in advance as possible but no later than 48 hours before the scheduled event.

I do hereby certify that the above notice of meeting of the City of Lewisville Planning and Zoning Commission was posted at City Hall, City of Lewisville, Texas in compliance with Chapter 551, Texas Government Code on _____, 2025 at _____ AM.

Planning Department

MINUTES
PLANNING AND ZONING COMMISSION
JULY 15, 2025

Item A: Call to Order and Announce that a Quorum is Present

With a quorum present, the Lewisville Planning and Zoning Commission meeting was called to order by Chair Karen Locke at 6:35 p.m. on Tuesday, July 15, 2025, in the Council Chambers, of the Lewisville City Hall, 151 West Church Street, Lewisville, Texas.

Members present: Chair – Karen Locke, Vice-Chair Erum Ali, Joshua Peterson, Jack Tidwell, Rick Lewellen, Ainsley Stelling, Francisca Al-waely

Members absent: none

Staff members present: Michele Berry, Planning Manager; Lily Sutton, Planner I; Lauren Cook, Planner I; Patty Dominguez, Senior Planning Technician; Chris McGinn, Director of Neighborhood and Inspection Services.

Item B1: Approval of Minutes

Consider the minutes of July 1, 2025, Meeting. A motion was made by Francisca Al-waely to approve the minutes as presented, seconded by Erum Ali. The motion passed unanimously (7-0).

Item C: Regular Hearing

2. Regular Hearing: Consideration of Two Alternative Standards Associated With Public Improvements and Landscape Standards for Broken Halo's Haven; on Approximately 0.918 Acres, Legally Described as Lot 6, Block 10, Kealy Addition, Zoned Old Town Mixed Use Two (OTMU-2); Located at 334 East Walters Street as Requested by Brittany Youngblood, McAdams, on Behalf of Leif Kjell Knutson and Natalie Reid-Knutson Capital LLC, the Property Owner. (Case No. 25-05-9-AltStd)

Lily Sutton, Planner I, gave a brief overview and staff's recommendation. There was no discussion. A motion was made by Rick Lewellen to recommend approval of two alternative standards as presented, seconded by Ainsley Stelling. The motion passed unanimously (7-0).

3. Tabled Regular Hearing: Consideration of Three Alternative Standards to I-35E Corridor Overlay District Standards Associated With Secondary Walkways, Loading Areas, and Building Orientation; on 26.84 Acres, Located on the North Side of Valley Ridge Boulevard Approximately 1000 Feet West of the Intersection of Valley Ridge Boulevard and North Mill Street; Legally Described as Valley Ridge Business Park East, Block B, Lots 3, 4 and 6; Zoned Light Industrial (LI) District, as Requested by Iris Herrejon, of Kimley-Horn, on Behalf of the Owner, Constellation REP. (25-03-4-AltStd)

Lauren Cook, Planner I, gave a brief overview and updated staff's recommendation. Staff addressed question regarding access. A motion was made by Erum Ali to recommend approval of alternative standards a) and c) as presented and table alternative standard b) pending approval letter from the cemetery, seconded by Jack Tidwell. The motion passed unanimously (7-0).

Item D: Public Hearings

4. Public Hearing: Consideration of a Special Use Permit for an Automobile Repair (Minor) Facility on Approximately 0.61 Acres, Legally Described as Thomas Addition, Lot 1, Block A, Located at 500 South Kealy Avenue, and Zoned Light Industrial (LI) District; as Requested by Ezekiel Kaufman, Mobile Tire, LLC, the Property Owner. (Case No. 25-06-9-SUP)

Lily Sutton, Planner I, gave a brief overview and staff's recommendation. The applicant was present and available for questions. Chair Locke opened the public hearing. With no one indicating a desire to speak, the public hearing was then closed. A motion was made by Francisca Al-waely to recommend approval of the special use permit with conditions as presented, seconded by Joshua Peterson. The motion passed unanimously (7-0).

5. Public Hearing: Consideration of a Zone Change From Agriculture Open Space District (AO) to Light Industrial District (LI); on Approximately 3.027 Acres of Land out of the Edmond Aday Survey, Abstract Number 11, Located at 421 Bennett Lane as Requested by James Yu, Lovett Industrial LLC, on Behalf of Eduardo and Ana Ortuno, the Property Owners. (Case No. 25-04-9-Z)

Lily Sutton, Planner I, gave a brief overview and staff's recommendation. The applicant was present and available for questions. Staff addressed questions regarding notifications to surrounding property owners. Staff also stated that no public comments have been received. Chair Locke opened the public hearing. James Yu with Lovett Industrial, the applicant, spoke in support and stated they reached out to all the neighbors along Pine Street. They did hear back from one person with traffic concerns. They have done a traffic analysis and have addressed some of their concerns. Mr. Yu also addressed questions regarding the business use of this site. With no one indicating a desire to speak, the public hearing was then closed. A motion was made by Francisca Al-waely to recommend approval of the zone change as presented, seconded by Rick Lewellen. The motion passed unanimously (7-0).

6. Continued Public Hearing: Consider Amending Section II.2.1., "Definitions" to add a Definition of "Short-Term Rental Unit"; Amending Article VII, "Uses, Parking Requirements, Supplemental Use Regulations and Certain Distance Regulations", to Amend the Heading of Article VII to "Uses, Parking Requirements, Supplemental Use Regulations and Certain Distance and Density Regulations" and the Heading of Chapter VII.4. to "Certain Distance and Density Regulations", to add a new Section VII.4.3. Establishing Distance and Density Location Regulations for Short Term Rental Units, and to Repeal and Delete Section VII.2.1.5., "Interim Prohibition on Short-Term Rental of Dwelling Units".

Michele Berry, Planning Manager, presented a detailed overview of the proposed changes and staff's recommendation. Commissioner Stelling expressed her support. Commissioner Peterson questioned the density/distance regulation. Chair Locke opened the continued public hearing.

Catherine Paris, 195 E Round Grove Road, spoke in support of short-term rentals.

Robert Ocnaschek, 2061 Camelot Drive, a short-term rental owner spoke in opposition of short-term rental cap regulations.

Jeff Woods, 1001 Forest Park, spoke in support of the proposed amendments.

No other members of the public came forward to speak. The public hearing was then closed. Staff addressed questions regarding waiting list for short-term permits once the cap has been reached and legal non-conforming status. Commissioner Peterson stated he is struggling with the low cap and 1000 feet distance requirement and states we are taking a very conservative approach and doesn't match with the data that has been presented. Other commissioners feel this is a good middle ground to start. A motion was made by Ainsley Stelling to recommend approval of the ordinance as set forth, seconded by Jack Tidwell. The motion passed (6-1), Joshua Peterson voting "no". Michele Berry, Planning Manager, stated that the item would appear before the City Council on August 18, 2025, at 7:00 p.m. for a second public hearing and final decision. Michele also stated that the previous public hearings would appear before the City Council on August 4, 2025 at 7:00 p.m. for a second public hearing and final decision.

Item E: Announcements and Reports

7. Receive an Update on Implementation of Long Range Plans

Michele Berry, Planning Manager, gave an update on implementation of Long Range Plans.

Item F: Adjournment

A motion was made by Erum Ali to adjourn the Planning and Zoning Commission meeting. The motion was seconded by Francisca Al-waely. The motion passed unanimously (7-0). There being no other business to discuss, the Planning and Zoning Commission meeting was adjourned at 7:43 p.m.

These minutes will be approved by the Planning and Zoning Commission at the next scheduled meeting.

**MINUTES
JULY 15, 2025**

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Respectfully Submitted,

Michele Berry, AICP
Planning Manager

Approved,

Karen Locke, Chair
Planning and Zoning Commission

DRAFT MINUTES

MEMORANDUM

TO: Planning and Zoning Commission

FROM: Jon Beckham, AICP, Senior Planner

DATE: August 5, 2025

SUBJECT: **Regular Hearing: Vacation of the Final Plat of Kingswood Hills Addition, Containing 136 Single Family Detached Lots and Nine Open Space Lots; on 47.641 Acres, Out of R. F. Hardin Survey, Abstract Number 613, the D. Cook Survey, Abstract Number 234, the T. A. West Survey, Abstract Number 1345, and the B. Schoonover Survey, Abstract Number 1209; Zoned Planned Development (PD-ETH) District; Located on the East Side of Josey Lane Approximately 3,000 feet South of Windhaven Parkway (24-05-2-FPCP)**

BACKGROUND:

Lewisville's Unified Development Code stipulates that a project's final plat must be filed with the county after all public improvements are completed. The final plat for the Kingwood Hills Addition was mistakenly filed with the county prematurely, and the developer is now requesting to have it vacated.

ANALYSIS:

Kingwood Hills is a residential subdivision being developed west of Josey Lane. Staff has collaborated with the applicant through a planned development ordinance, final plat, and the construction plan approval process.

The final plat was filed in error on April 24, 2025. Once the plat is vacated, it will be refiled once and all public improvements are completed and the park agreement is officially approved. The plat is not being disapproved. It is being vacated until it can be filed at the appropriate time.

RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission approve the vacation of the Final Plat of the Kingswood Hills Addition.

CITY OF LEWISVILLE

THE STATE OF TEXAS §

COUNTY OF DENTON §

DECLARATION OF PETITION FOR VACATION OF PLAT

KNOW ALL MEN BY THESE PRESENTS, THAT:

I (we), the undersigned, hereby acknowledge that I am (we are) the owner(s)/proprietor(s) of all the land and/or lots or portions of lots included in the certain plat entitled Kingwood Hills, which was filed in the Plat Records of Denton County, Texas, Document Number 2025-154. A copy of said plat is attached hereto and was approved by the City of Lewisville on March 3, 2025. Pursuant to Texas Local Government Code Section 212.013 and the City of Lewisville Unified Development Code, Sec. III.5.10., the undersigned hereby declare(s) such plat (or portion of such plat as described below) known as Kingwood Hills to be vacated.

It is the intent of the undersigned to nullify the force and effect of the recordation of the above referenced plat (or the portion described of the above referenced plat) by filing this declaration in the denton county real property records, to cause the county clerk to write the word "vacated" in plain, legible letters across the plat, and to so vacate.

It is further declared that the City of Lewisville Planning and Zoning Commission has approved said instrument by its signature executed, attested, and attached hereto.

Signed this 17th day of July, 2025.

By: John Mearns

Owner's Name Printed

Owner's Signature

as Vice President of Josey Lane, LLC

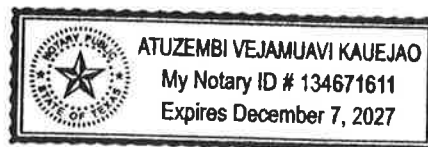
THE STATE OF TEXAS §

COUNTY OF DENTON §

Before me, the undersigned authority, a notary public for the State of Texas, on this day personally appeared John Mearns, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein expressed. Given under my hand and seal of office, this the 17 day of July, 2025.

[Signature]
Notary Public in and for the State of Texas

My commission expires: December 7, 2027



This Declaration of Petition for Vacation of Plat for Kingwood Hills Subdivision Plat, Plat No. 24-05-2-FPCP, submitted to and considered by the City of Lewisville is hereby approved.

Signed this _____ day of _____, 20_____.

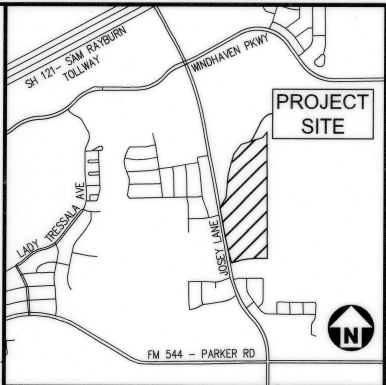
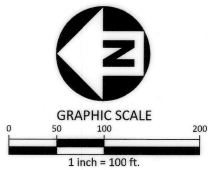
By: _____
Karen Locke, Chairperson

Attested By: _____
Jennifer Malone-Ippolito, City Secretary

NOTES:

- Bearings based on Texas Coordinate System, North Central Zone (4202), NAD '83.
- According to Community/Panel No. 48121C0570 G, effective April 18, 2011, of the FLOOD INSURANCE RATE MAP for Denton County, Texas & Incorporated Areas, by graphic plotting only, a portion of this property appears to be within Flood Zone "AE" (areas of 100-year flood where base flood elevations have been determined). This flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes.

This flood statement shall not create liability on the part of the surveyor.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate abstract of title may disclose.
- Lots 22X, Block B, 25X, Block D, 26X, Block F, and 35X, Block G are open space, pedestrian access easements, maintained and dedicated to the homeowner's association.
- Lots 22X, Block B, and 26X, Block F are drainage easements, and are to be maintained and dedicated to the homeowner's association.
- Lots 24X, Block B, and 29X, Block F, are open space lots and are to be dedicated to and maintained by the homeowner's association.
- Lots 1X, Block A, 23X, Block B, and 27X, Block F are Recreation and Drainage Easements, and are to be maintained and dedicated to the homeowner's association.
- Recreation Easement: Per PD-ETH (Ordinance 0645-24-ZON), An easement granted to the City of Lewisville for recreational purposes, the developer maintains the right to engineer the site and by using dirt in the easement area.
- Park fees to be paid prior to the release of the first building permit.
- The finished floor of homes shall be a minimum of 2-feet above the base flood elevation.
- Lot 28X, Block F, dedicated fee simple to the City of Lewisville by this plat.
- All corner clips are 15'x15' unless otherwise noted hereon.
- All Clear Vision Areas are 45'x45', measured from the face of curb as designed and constructed.
- Park Dedication: \$96,058 fee-in-lieu of or \$149,600 fee-in-lieu of with Lot 28X, Block F dedication Park Development Fee: \$245,658.
- Retaining walls are generally the sole responsibility of the owner of the property being retained. The owner of the retained property shall maintain, repair, and replace such retaining walls as needed at their sole cost and expense. However, the Homeowners Association shall be responsible for the maintenance and upkeep of all retaining walls abutting X lots, open space lots, or located at the rear property line of any lot within the subdivision.



VICINITY MAP SCALE 1"=2000'

McADAMS
The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056

phone 972.436.9712
fax 972.436.9715
TBPLS FIRM #
PE:19762 RPLS: 10194440
www.mcadamsco.com

OWNER

LEWISVILLE ISD
1565 W. MAIN STREET
LEWISVILLE, TX 75065
PH: 972.350.4762

DEVELOPER

Lyfe Residential
2140 Hall Johnson Road, Suite 102-106
Grapevine, Tx 76051
Contact: Alex Dyer
Email: alex.dyer@lyferesidential.com

SURVEYOR

James Stowell, RPLS
4400 State Highway 121, Suite 800
Lewisville, Tx 75056
Email: jstowell@mcadamsco.com

FINAL PLAT
KINGWOOD HILLS
LOT 1X, BLOCK A, LOTS 1-21, 22X-24X, BLOCK B,
LOTS 1-18, BLOCK C, LOTS 1-24, 25X, BLOCK D,
LOTS 1-14, BLOCK E, LOTS 1-25, 26X-29X, BLOCK F,
LOTS 1-34, 35X, BLOCK G
47.641 ACRES

CURRENTLY ZONED: PU, PUBLIC USE
PROPOSED ZONING: PD-ETH, PLANNED DEVELOPMENT; ESTATE TOWN HOME
D. COOK SURVEY, ABSTRACT NO. 234, B. SCHOONOVER SURVEY, ABSTRACT NO. 1209,
R. F. HARDIN SURVEY, ABSTRACT NO. 613, & T. A. WEST SURVEY, ABSTRACT NO. 1345
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

PROJECT INFORMATION

PROJECT NO. LYF23002
FILENAME LYF23002 FINAL PLAT
CHECKED BY JS
DRAWN BY BC
SCALE 1"=100'
DATE 7.4.2024

Filed for Record
in the Official Records Of:
Denton County
On: 4/24/2025 12:04:41 PM
In the PLAT Records
KINGWOOD HILLS
Doc Number: 2025-154
Number of Pages: 6
Amount: 300.00
Order#: 20250424000349
By: MT

Z:\Drive\Projects\LVF23002\02-Geomatics\Survey\Plan\LVF23002.FINAL PLAT.dwg, 3/10/2025 9:35:19 AM, Austin Turner



GRAPHIC SCALE
0 20 40 80
1 inch = 40 ft.

LEGEND

RF	REBAR FOUND
CRS	CAPPED REBAR SET
CRF	CAPPED REBAR FOUND
P.O.B.	POINT OF BEGINNING
BL	BUILDING LINE
UE	UTILITY EASEMENT
ROW	RIGHT OF WAY
SF	SQUARE FEET
PG	PAGE
CVA	CLEAR VISION AREA
MAUE	MUTUAL ACCESS & UTILITY EASEMENT
CL	CENTER LINE
GSB	GARAGE SET BACK
WME	WALL MAINTENANCE EASEMENT
	RECREATION AND DRAINAGE EASEMENT
	STREET NAME CHANGE

REMAINDER
LEWISVILLE INDEPENDENT
SCHOOL DISTRICT
CALLED 66.997 AC.
2012-145205
ZONED: PUBLIC USE

JOSEY LANE
(VARIABLE WIDTH RIGHT-OF-WAY)

MATCH LINE PG 4
MATCH LINE PG 3

MATCH LINE PG 5
MATCH LINE PG 4

23X
172,107 SF
"RECREATION AND
DRAINAGE EASEMENT"

R. F. HARDIN SURVEY
A-818
D. COOK SURVEY
A-234

23X
172,107 SF
"RECREATION AND
DRAINAGE EASEMENT"

HYSSOP AVENUE

ASTER WAY

YARROW DRIVE

BLUESTEM WAY

WILDRIE DRIVE

PAGE 4 OF 6



MCADAMS

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PE:19762 RPLS: 10194440
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OWNER

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1565 W. MAIN STREET
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PH: 972.350.4762

DEVELOPER

Lyfe Residential
2140 Hall Johnson Road, Suite 102-106
Grapevine, TX 76051
Contact: Alex Dyer
Email: alex.dyer@lyferesidential.com

SURVEYOR

James Stowell, RPLS
4400 State Highway 121, Suite 800
Lewisville, TX 75056
Email: jstowell@mcadamsco.com

FINAL PLAT

KINGWOOD HILLS
LOT 1X, BLOCK A, LOTS 1-21, 22X-24X, BLOCK B,
LOTS 1-18, BLOCK C, LOTS 1-24, 25X, BLOCK D,
LOTS 1-14, BLOCK E, LOTS 1-25, 26X-29X, BLOCK F,
LOTS 1-34, 35X, BLOCK G

47.641 ACRES
CURRENTLY ZONED: PU, PUBLIC USE
PROPOSED ZONING: PD-ETH, PLANNED DEVELOPMENT: ESTATE TOWN HOME
D. COOK SURVEY, ABSTRACT NO. 334, B. SCHOONOVER SURVEY, ABSTRACT NO. 1209,
R. F. HARDIN SURVEY, ABSTRACT NO. 613, & T. A. WEST SURVEY, ABSTRACT NO. 1345
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

PROJECT INFORMATION

PROJECT NO. LVF23002
FILENAME LVF23002 FINAL PLAT
CHECKED BY JS
DRAWN BY BC
SCALE 1"=100'
DATE 7.4.2024

Filed for Record
in the Official Records Of:
Denton County
On: 4/24/2025 12:04:41 PM
In the PLAT Records
KINGWOOD HILLS
Doc Number: 2025 - 154
Number of Pages: 6
Amount: 300.00
Order#: 2025042400349
By: MT

LEGAL DESCRIPTION

BEING all that certain lot, tract, or parcel of land, situated in the R. P. Hardin Survey, Abstract Number 613, the D. Cook Survey, Abstract Number 234, the T. A. West Survey, Abstract Number 1345, and the B. Schoonover Survey, Abstract Number 1209, City of Lewisville, Denton County, Texas, and being part of that certain called 42.100 Acre tract of land, described by deed to Lewisville Independent School District, recorded in Document Number 2007-23325, Deed Records, Denton County, Texas, and being part of that certain called 66.997 acre tract of land, described by deed to Lewisville Independent School District, recorded in Document Number 2012-145205, Deed Records, Denton County, Texas, and being all of that certain tract of land described by deed to Josey Lane, LLC, recorded in Document Number 2024-40256, Deed Records, Denton County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" capped rebar found, stamped "DAA" at the southeast corner of said 66.997 acre tract, same being the northeast corner of a called 4.842 acre right-of-way dedication to the City of Lewisville for drainage purposes, as shown on plat recorded in Document Number 2017-273, Plat Records, Denton County, Texas, and being in the west line of a certain tract of land, described by deed to CB/Tittle, LTD, recorded in Document Number 2013-61919, Deed Records, Denton County, Texas;

THENCE with the south line of said 66.997 acre tract, and the north line of said 4.842 acre right-of-way dedication, the following three (3) calls:

S 89°37'30" W, a distance of 269.09 feet to a 1/2" rebar found;

Southwesterly, with the arc of a cure to the left, having a radius of 1,200.00 feet, and an arc length of 333.94 feet, whose chord bears S 81°39'10" W, a distance of 332.86 feet to a 1/2" capped rebar found, stamped "DAA";

S 73°40'50" W, a distance of 154.51 feet to a 1/2" capped rebar set, stamped "MCADAMS" at the southwest corner of said 66.997 acre tract, same being the northwest corner of said 4.842 acre right-of-way dedication, being in the east line of a certain called 27.083 acre right-of-way dedication to the State of Texas, recorded in Document Number 1995-80045, Deed Records, Denton County, Texas, and being in the east line of Josey Lane;

THENCE with the west line of said 66.997 acre tract, and the east line of Josey Lane, the following three (3) calls:

N 16°08'30" W, a distance of 283.52 feet to a 1/2" capped rebar set, stamped "MCADAMS";

N 12°08'15" W, a distance of 399.72 feet to a 1/2" capped rebar set, stamped "MCADAMS";

N 10°30'10" W, a distance of 499.88 feet to a TxDOT Monument found;

THENCE over, across, and through said 66.997 acre tract, the following four (4) calls:

N 32°30'00" E, a distance of 242.63 feet to a 1/2" capped rebar set, stamped "MCADAMS";

N 05°00'00" E, a distance of 465.05 feet to a 1/2" capped rebar set, stamped "MCADAMS";

N 14°00'00" E, a distance of 479.44 feet to a 1/2" capped rebar set, stamped "MCADAMS";

N 37°30'00" E, passing the north line of said 66.997 acre tract, same being the south line of said 42.100 acre tract, continuing a total distance of 258.71 feet to a 1/2" capped rebar set, stamped "MCADAMS";

THENCE over, across and through said 42.100 acre tract, the following two (2) calls:

N 72°30'30" E, a distance of 469.46 feet to a 1/2" capped rebar set, stamped "MCADAMS";

N 38°45'00" E, a distance of 145.69 feet to a 1/2" capped rebar set, stamped "MCADAMS", in the east line of said 42.100 acre tract, same being the west line of said CB/Tittle tract;

THENCE S 00°22'30" E, with the west line of said CB/Tittle tract, and the east line of said 42.100 acre tract, passing at a distance of 437.91 feet, a 1/2" rebar found at the southeast corner of said 42.100 acre tract, same being the northeast corner of said 66.997 acre tract at a distance of 437.91 feet, continuing a total distance of 2,654.27 feet to the POINT OF BEGINNING and containing approximately 47.641 acres of land.

Now therefore, know all persons by these presents:

That JOSEY LANE, LLC, the undersigned authority, do/does hereby adopt this plat designating the herein above described property as KINGWOOD HILLS and addition to the City of Lewisville, Denton/Dallas County, Texas, and does hereby dedicate to the public use forever the streets and alleys shown hereon; and does hereby dedicate the easements shown on the plat for mutual use and accommodation of the City of Lewisville and all public utilities desiring to use, or using same. No buildings, fences, trees, shrubs, signs, or other improvements shall be constructed or placed upon, over, or across the easements on said plat. The City of Lewisville and any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, signs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on any of these easements, and the City of Lewisville and any public utility shall at all times have the right of ingress and egress to and from and upon any of said easement strips for the purposes of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone. A blanket easement of a five (5) foot radius from the center point of all fire hydrants and a five (5) foot radius from the center point of all other appurtenances (fire hydrant valves, water meters, meter boxes, street lights) is hereby granted to the City of Lewisville for the purpose of constructing, reconstructing, inspecting and maintaining the above named appurtenances. We do further dedicate, subject to the exceptions and reservations set forth hereinafter, to the public use forever, all public use spaces shown on the face of the plat. All lots in the subdivision shall be sold and developed subject to the building lines shown on the plat.

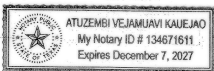
TOM ANDREWS
VICE PRESIDENT
JOSEY LANE, LLC

STATE OF TEXAS :
COUNTY OF DENTON :

BEFORE ME, THE UNDERSIGNED AUTHORITY, personally appeared TOM ANDREWS, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this 18th day of March, 2025.

Notary Public
State of Texas



My commission expires the 7th day of December, 2027.

The undersigned, the City Secretary of the City of Lewisville, Texas, hereby verifies that the foregoing final plat of the Kingwood Hills Addition to the City of Lewisville was submitted to the appropriate Planning & Zoning Commission or City Council as required by the ordinances of the City of Lewisville on the 4th day of March, 2025, and such body by formal action, then and there authorized the acceptance of the streets, alleys, parks, easements public places and water and sewer lines, as shown and set forth in and upon said plat.

Witness by my hand this 4th day of April, 2025.

Jennifer Malone, Acting City Secretary
City of Lewisville, Texas



Approved

Karen Locke
Chair
Planning & Zoning Commission

3/26/25
Date

LAND SUMMARY TABLE

Lot Type	Lot Requirements				Unit Quantity	Acres	Density per Acre
	Min. Lot Area Required	Min Lot Area Provided	Min. Lot Width at Building Line	Min. Dwelling Size Req.			
RESIDENTIAL LOTS	4,000 SF	4886 SF	40'	1,800 SF	136	18.874	4.38
HOA "X" LOTS					6	2.317	
RECREATION/DRAINAGE "X" LOTS					3	9.852	
STREET ROW					1	7.083	
PARK LAND & DRAINAGE ROW					1	9.515	
TOTAL					145	47.641	

Open Space Lots:

Lot 1X, Block A 4.528 Acres
Lot 22X, Block B 0.665 Acres
Lot 23X, Block B 3.951 Acres
Lot 24X, Block B 0.397 Acres
Lot 25X, Block D 0.040 Acres
Lot 26X, Block F 0.353 Acres
Lot 27X, Block F 1.373 Acres
Lot 29X, Block F 0.777 Acres
Lot 35X, Block G 0.085 Acres

Total Open Space: 530,082 SF
12.169 Acres
39.2%

These open space "X" lots shall be maintained by the HOA.

There is 1 Phase. (47.641 Total Acres)

Minimum lot size: 4,000 SF
Maximum building height: 35ft, 2.5 stories
Maximum building lot coverage: 80%
Minimum dwelling unit size: The minimum square footage of a dwelling unit shall be 1,800 square feet, exclusive of garages, breezeways, and porches.

Setback Requirements:

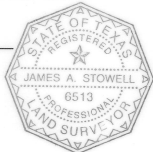
Front: 15 ft
Garage: 20 ft
Rear: 10 ft
Abutting Flood: 15 ft (affects Lots 1-16, Block B, and Lots 1-15, Block F)
East property line: 15 ft (affects Lots 1-24, Block D, and Lots 16-25, Block F)

Side:
Street 10 ft
Open Space 5 ft
Lot 5 ft

SURVEYOR'S STATEMENT

I, James Stowell, a Registered Professional Land Surveyor in the State of Texas, have prepared this plat of the above property from an actual survey on the ground, and this plat represents that survey made by me or under my supervision.

James Stowell, RPLS
Texas Registration No. 6513



OWNER

LEWISVILLE ISD
1565 W. MAIN STREET
LEWISVILLE, TX 75065
PH: 972.350.4762

DEVELOPER

Lyfe Residential
2140 Hall Johnson Road, Suite 102-106
Grapevine, Tx 76051
Contact: Alex Dyer
Email: alex.dyer@lyferesidential.com

SURVEYOR

James Stowell, RPLS
4400 State Highway 121, Suite 800
Lewisville, Tx 75056
Email: jstowell@mcadamscsco.com

FINAL PLAT

KINGWOOD HILLS
LOT 1X, BLOCK A, LOTS 1-21, 22X-24X, BLOCK B,
LOTS 1-18, BLOCK C, LOTS 1-24, 25X, BLOCK D,
LOTS 1-14, BLOCK E, LOTS 1-25, 26X-29X, BLOCK F,
LOTS 1-34, 35X, BLOCK G
47.641 ACRES
CURRENTLY ZONED: PU, PUBLIC USE

PROPOSED ZONING: PD-ETH, PLANNED DEVELOPMENT; ESTATE TOWN HOME
D. COOK SURVEY, ABSTRACT NO. 234, B. SCHOONOVER SURVEY, ABSTRACT NO. 1209,
R. F. HARDIN SURVEY, ABSTRACT NO. 613, & T. A. WEST SURVEY, ABSTRACT NO. 1345
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

PROJECT INFORMATION

PROJECT NO. LYF23002
FILENAME LYF23002 FINAL PLAT
CHECKED BY JS
DRAWN BY BC
SCALE 1"=100'
DATE 7.4.2024

Filed for Record
in the Official Records Of:
Denton County
On: 4/24/2025 12:04:41 PM
In the PLAT Records
KINGWOOD HILLS
Doc Number: 2025-154
Number of Pages: 6
Amount: 300.00
Order#: 20250424000349
By: MT

MEMORANDUM

TO: Planning & Zoning Commission

FROM: Lauren Cook, Planner I

DATE: August 5, 2025

SUBJECT: **Tabled Regular Hearing: Consideration of One Alternative Standard to I-35E Corridor Overlay District Standards Associated With Screening Loading Areas; on 26.84 Acres, Located on the North Side of Valley Ridge Boulevard Approximately 1,000 Feet West of the Intersection of Valley Ridge Boulevard and North Mill Street; Legally Described as Valley Ridge Business Park East, Block B, Lots 3, 4 and 6; Zoned Light Industrial (LI) District, as Requested by Iris Herrejon, of Kimley-Horn, on Behalf of the Owner, Constellation REP. (25-03-4-AltStd)**

BACKGROUND:

The property owner is seeking to develop a greenfield site into two industrial properties. The developer requested three alternative standards to the I-35E Corridor Overlay district standards to address site specific constraints. A concept plan for this site was submitted on October 21, 2024, vesting the project to the code prior to the adoption of the supplemental standards for warehouse distribution and manufacturing uses. Two of the three requested alternative standards were approved at the Planning & Zoning Commission meeting on July 15, 2025. The third standard, regarding the screening of the loading areas, was tabled as staff was waiting for written and signed support from the board of the adjacent cemetery. The cemetery relayed their signed letter of support on July 23, 2025.

ANALYSIS:

The following alternative standard is requested:

- a) To waive the required screening of the loading spaces from the cemetery as required by Section VI.8.1.C.6.a, a 100% reduction.

The current site plan shows the loading spaces at the north of the site, adjacent to the Fox-Hembry cemetery. The I-35E Corridor Overlay Transition Subdistrict requires loading spaces to be screened from adjacent properties and public right-of-way with an 8-foot screening wall. The loading spaces, which are located at the north of the property adjacent to the cemetery, would not be properly screened by an 8-foot-tall wall because the proposed grade of the site is approximately 14.5 feet below the cemetery. Additionally, a preexisting perimeter of trees surrounds the cemetery on the west, east, and south sides, effectively serving as a living screen. The cemetery association that maintains the cemetery has expressed written support of the project.

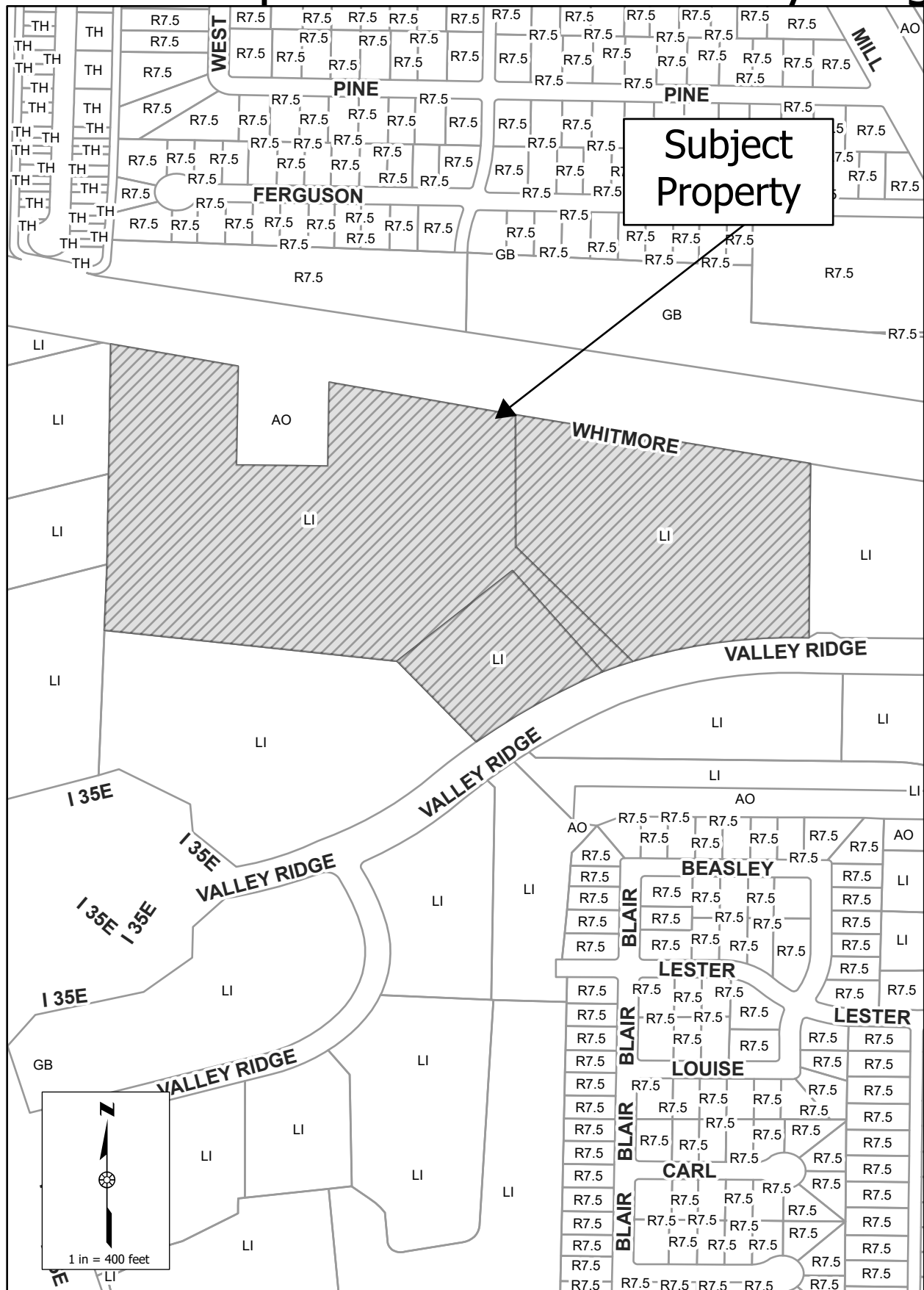
CITY STAFF'S RECOMMENDATION:

That the Planning and Zoning Commission recommend approval of the item as presented.

Aerial Map - Constellation Valley Ridge



Location Map - Constellation Valley Ridge





Alternative Standard Request Narrative

Date: May 8th, 2025

To: City of Lewisville – Planning Department

From: Patrick Hogan, P.E.

Re: Constellation Valley Ridge – ENG-2024-360

Below you will find the requested alternative standards for the project Constellation Valley Ridge.

1. An alternative standard is requested for the below section of the City of Lewisville's Unified Development Code – IH-35E Corridor Overlay District.

Section VI.8.1.C.2.b “Building Orientation - If the building only has one (1) public street frontage on the IH-35E frontage road or arterial street, then the longer side of the building shall be placed parallel to the frontage road or arterial street. For all properties with frontage on the IH-35E frontage road or an arterial street, the front facade of the building shall be oriented to the higher category roadway.”

The proposed alternative is for Building 1 to be oriented to match the neighboring buildings east of the site rather than to be parallel to Valley Ridge Boulevard. The reason for the deviation is that Valley Ridge Boulevard curves for the portion of the road in front of Building 1. In the attached exhibit, it is shown that Building 1 deviates from the preferred orientation (holding the SE corner of Building 1 perpendicular to the curve along Valley Ridge Boulevard) by approximately 25 degrees, or 7%.

2. An alternative standard is requested for the below section of the City of Lewisville's Unified Development Code – IH-35E Corridor Overlay District.

Section VI.8.1.C.3.b “A minimum 12-foot-wide secondary walkway shall be required along each façade with primary entrances into businesses or tenant spaces, if such a facade faces a parking lot on the property. This secondary walkway shall incorporate shading elements along the entire applicable facade in the form of canopies, trees or a combination of the two (2). See Exhibit VI.8.1-12”

The proposed alternative is for the secondary walkway to be on average 8 feet wide for Building 1 and 10 feet wide for Building 2. The proposed deviation from a 12' to 8' wide secondary walkway is approximately 33.3% (Building 1). The proposed deviation from a 12' to 10' wide secondary walkway is approximately 16.7% (Building 2). Reasons for the requested deviation include, but are not limited to, the unique site configuration, existing floodplain to the south of the site, and an existing cemetery to the north of the site that have constrained north/south reconfigurations for the proposed buildings. Additionally, SUE has field verified that an existing 48" UTRWD water line is located approximately 10' further south than record drawings have shown.

3. An alternative standard is requested for the below section of the City of Lewisville's Unified Development Code – IH-35E Corridor Overlay District.

Section VI.8.1.C.6.a “General Provisions - Loading spaces, outside storage, ground-mounted equipment, roof-mounted equipment, outdoor receptacles and utility equipment shall be screened in order to reduce the visual impact of these elements on adjoining properties and public rights-of-way. All screening walls shall be measured at the highest finished grade and designed by a professional civil engineer registered in the state. Construction and location details of the required screening shall be shown as part of the engineering site plan, when required. In areas where non-single-family development is proposed adjacent to established single-family residential dwellings and a screening wall is required, the screening wall shall be constructed prior to issuance of a building permit. The screening wall portion of the project costs may not be escrowed under the performance escrow policy of Article IX.3.”

The requested alternative standard would be to not screen loading spaces from the existing cemetery. Loading spaces for Buildings 1 and 2 sit at elevations 516.70' and 514.50', respectively. The elevation at the cemetery entrance is approximately 529' - 530'. The differences in elevation between Fox Hembry Cemetery and the proposed buildings would not be screened by an 8' screening wall. There are no permanent structures allowed in the existing 30' UTRWD easement located in between Building 1 and the cemetery. Additionally, the existing vegetation surrounding the cemetery in present conditions serves as a natural living screen. This vegetation will remain to serve as screening between Fox-Hembry Cemetery and the proposed development.

Date: Wednesday, July 23, 2025

ATTN: Lauren Cook, Planning & Zoning Commission, City of Lewisville

Approval Document: Fox-Hembry Cemetery Project & Alternative Screening Standard

This document serves as a record of the approval for proposed cemetery-related projects by Constellation Real Estate Partners and the adoption of an alternative screening standard, discussed and voted upon during a meeting held on **July 23, 2025**.

Project Proposals and Alternative Standard

Laura Cook from the City of Lewisville presented the following projects proposed by Constellation Real Estate Partners:

- **Maintenance of Existing Trees:** Maintenance of existing trees located near the shared property line of the cemetery.
- **Additional Tree Planting:** Planting and ongoing maintenance of new trees along the shared property line to enhance privacy for the cemetery.

Additionally, this document certifies the support of the Fox-Hembry Cemetery's families and board members for an **alternative standard** to the previously required masonry screening wall. As an alternative, Constellation will implement the following:

- **Maintenance of Existing Living Screen:** Constellation will maintain the existing trees near the shared property lines of the cemetery and the proposed industrial site, which currently serve as a living screen.
- **Additional Tree Planting:** Constellation will plant additional trees near the shared border to fill existing gaps in the living screen, enhancing the natural and effective screen between the Constellation Industrial Site and the Fox-Hembry Cemetery.

Approval Process

Initial verbal approval for the projects was given by Kim Smith during the early part of the meeting. Following the arrival of additional board members, Gwen Watkins Barlow and Brennon Turner, the decision was made to proceed with a verbal vote for official approval, rather than individual DocuSign approvals.

A motion for approval of the proposed projects and the alternative standard was made by **Karen Hembry** and seconded by **Brennon Turner**.

Vote

The following board members voted **yes** to approve the project proposals and the alternative screening standard:

- Gwen Watkins Barlow, Voting Board Member
- Brennon Turner, Voting Board Member
- Tyler Peace, Voting Board Member
- Karen Hembry, Voting Board Member

Easement Rights

It is explicitly stated that this document **does not relinquish any existing rights** the Fox-Hembry Cemetery or its family members have to the existing easements or agreements from Mill Street to the Fox-Hembry Cemetery.

Authorization for Signature

It was unanimously decided that **Tyler Peace**, Board President of the Fox-Hembry Cemetery, is authorized to sign the necessary agreement between the City of Lewisville, Constellation Real Estate Partners, and the Board of Directors of the Fox-Hembry Cemetery.

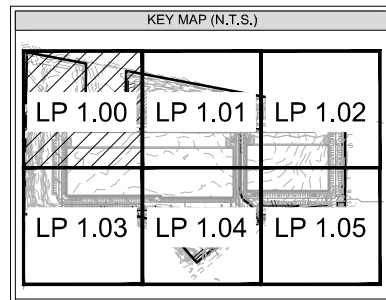
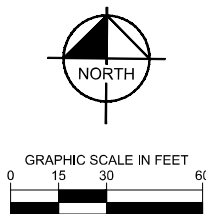
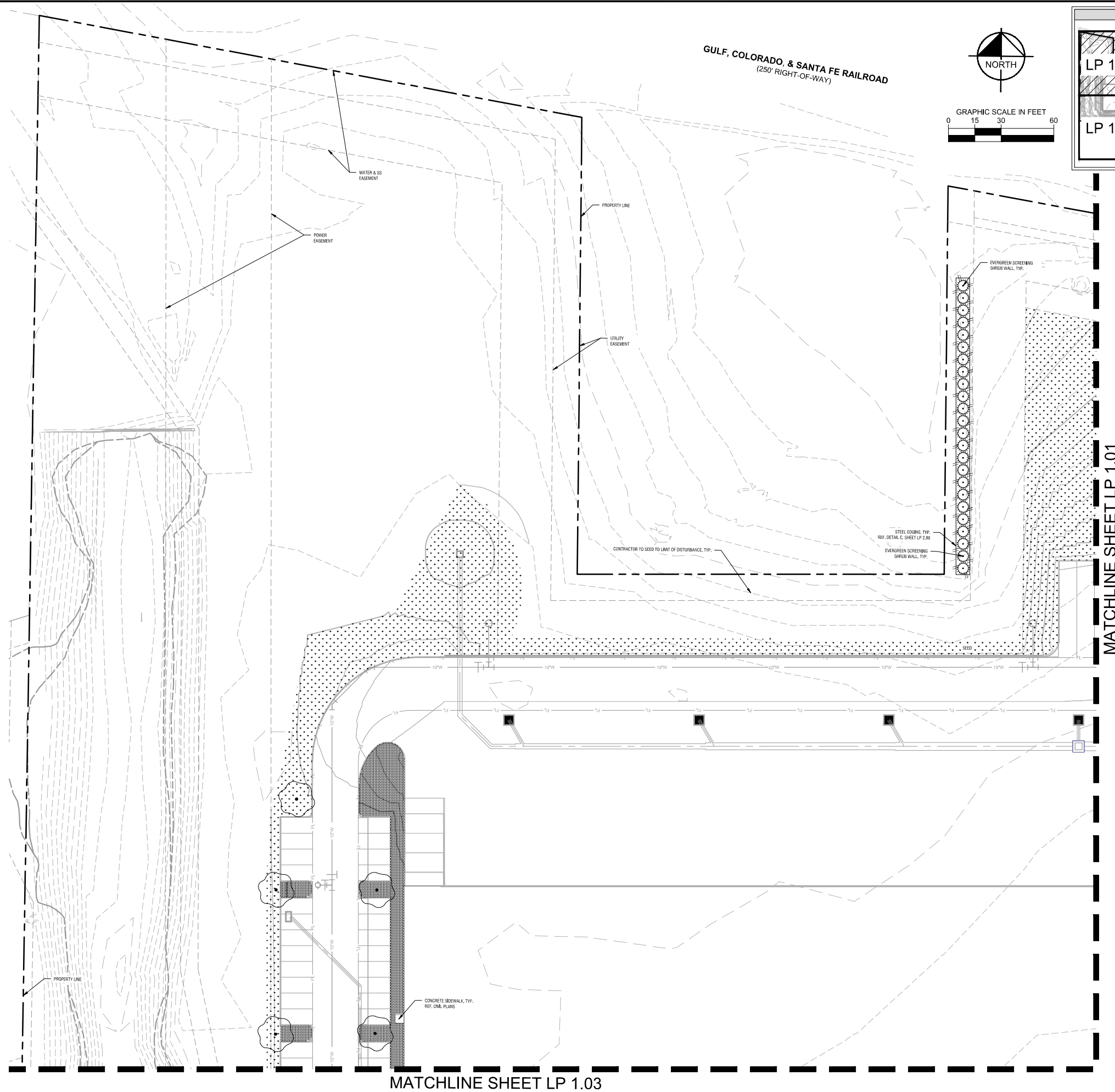
Tyler Peace has accepted this responsibility and will ensure the signed documents are sent to the City of Lewisville by the deadline of **Friday, July 25, 2025**.

Signatures:

A handwritten signature in dark ink, appearing to read 'Tyler Peace', is written over a horizontal line. To the right of the signature, the date '7/23/25' is handwritten in the same ink.

Board President, Tyler Peace





WARNING: EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD DRAWINGS AND ABOVE GROUND FIELD SURVEY DATA. THEREFORE THERE MAY BE UTILITIES PRESENT THAT ARE NOT SHOWN ON THESE CONSTRUCTION PLANS. CONTRACTOR TO FIELD VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND USE CAUTION DURING CONSTRUCTION. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES.



Know what's **below**.
Call before you dig.

[illegible]

Kimley»Horn

2600 N CENTRAL EXPY, SUITE 400
RICHARDSON, TX 75080
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928
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KHA PROJECT 068923903	DATE JUNE 2025	SCALE AS SHOWN	DESIGNED BY LC	DRAWN BY NAW	CHECKED BY BDM
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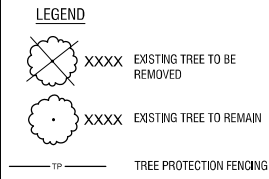
PREPARED FOR
CONSTELLATION VALLEY RIDGE

DENTON COUNTY

EWISVILLE, TX

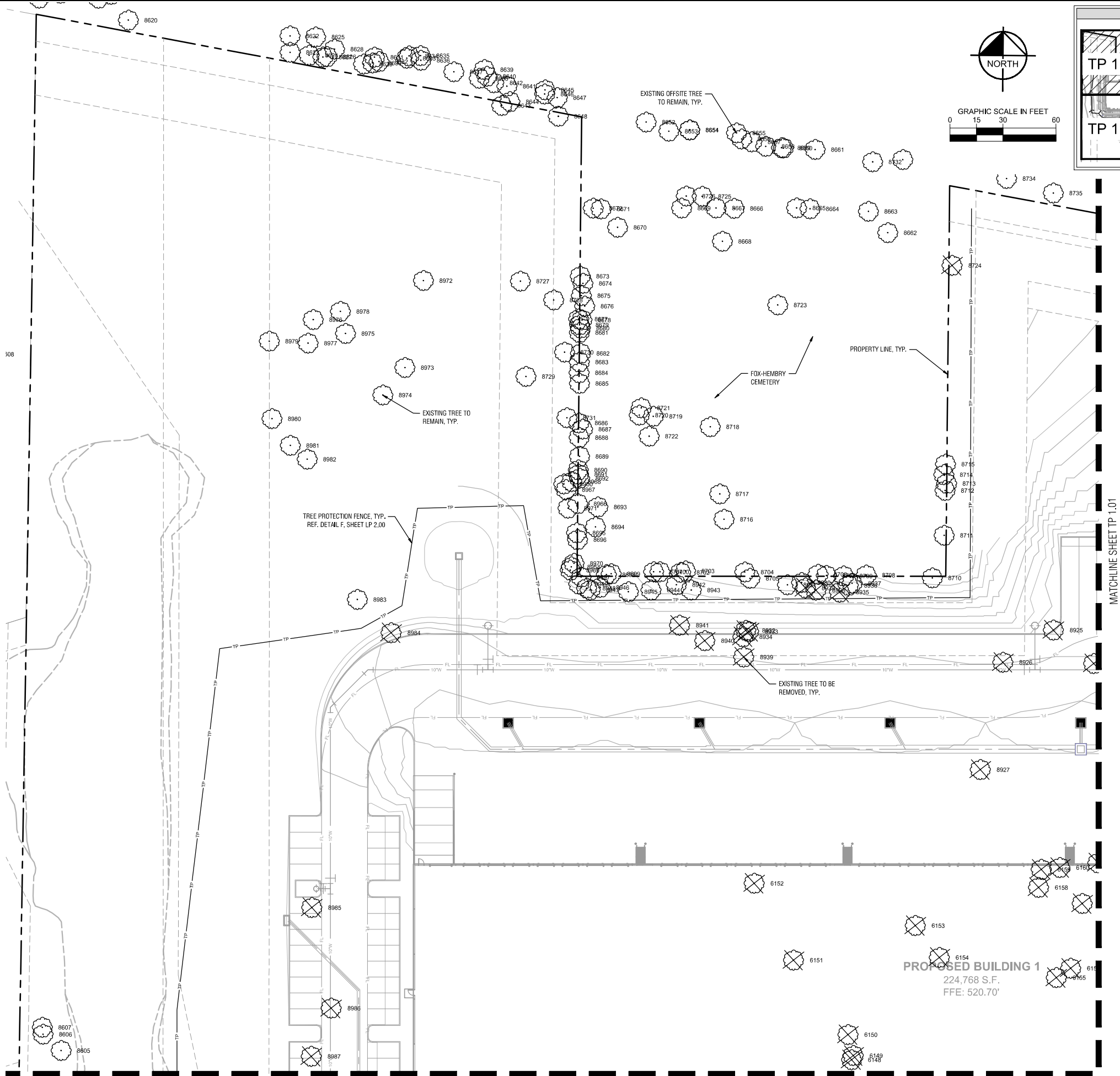
PLANTING PLAN

SHEET NUMBER
LP 1.00 27



\\pwr1\share\ssim\m\er\T\B2204-LA-0001\T\TREE IMAGE - 0001.dwg
LAST SAVED 2/17/2025 2:50 PM
DRAWN BY KIMLEY-HORN
CHECKED BY KIMLEY-HORN
DATE 02/17/2025

This document, together with the conceptual and design professional fees, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. It is not to be used for any other purpose without the written consent of Kimley-Horn and Associates, Inc. It is not to be used for any other purpose without the written consent of Kimley-Horn and Associates, Inc.



WARNING: EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD DRAWINGS AND ABOVE GROUND FIELD SURVEY DATA, THEREFORE THERE MAY BE UTILITIES PRESENT THAT ARE NOT SHOWN ON THESE CONSTRUCTION PLANS. CONTRACTOR TO FIELD VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND USE CAUTION DURING CONSTRUCTION. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES.

811 Know what's below.
Call before you dig.

LEGEND

XXXX EXISTING TREE TO BE REMOVED

XXXX EXISTING TREE TO REMAIN

TP TREE PROTECTION FENCING

KHA PROJECT 068923903		DATE FEB 2025		SCALE AS SHOWN		DESIGNED BY LC		DRAWN BY NAW		CHECKED BY BDM	
PREPARED FOR CONSTELLATION VALLEY RIDGE										DENTON COUNTY	
TREE PRESERVATION PLAN										LEWISVILLE, TX	
SHEET NUMBER TP 1.00										29	

Kimley-Horn

2600 N. CENTRAL EXPY. SUITE 400
RICHARDSON, TX 75080
PHONE: 972-770-1500 FAX: 972-235-3820
WWW.KIMLEY-HORN.COM TX F-526
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Nearmap

MEMORANDUM

TO: Planning and Zoning Commission

FROM: Lily Sutton, Planner

DATE: August 5, 2025

SUBJECT: **Public Hearing: Consideration of a Special Use Permit for an Automobile Repair (Minor) Facility on Approximately 0.972 Acres, Legally Described as Bennett Park Center Addition, Lot 1, Block A, Located at 519 Bennett Lane, and Zoned Light Industrial (LI) District; as Requested by Timothy Gotcher, EcoPal Mobile Detail LLC, on Behalf of KJS Properties, LLC, the Property Owner. (Case No. 25-03-3-SUP).**

BACKGROUND:

EcoPal Mobile Detail is a minor automotive service shop looking to occupy a 750 square foot portion of an existing building at 519 Bennett Lane. The business offers on-site detailing and repair services. Most services are completed the same day. The applicant is requesting a special use permit (SUP) to allow this minor automotive service facility.

ANALYSIS:

Site & Landscaping

The proposed location has two existing multi-tenant buildings that are configured for light industrial uses. The applicant is seeking to occupy a 750 square foot portion of the north building. Other businesses on the same property include a commercial and fire security business, an auto parts store, Retro Gear, and SMB car dealership. The property to the south is a hardware warehouse and distribution company, Hillman Group. To the west is the XL Auto Parts store and north is a FedEx Freight. To the east there is a vacant lot zoned Agriculture Open Space (AO). All other immediately adjacent properties are also zoned Light Industrial (LI). The applicant is proposing no changes to the exterior site or the landscaping. This area is designated as an Employment Centers within the Lewisville Vision 2025 Plan.

The following are the criteria for consideration of an SUP per Section III.9.2 of the UDC.

A. Compatibility with surrounding uses and community facilities;

The property is configured for light industrial uses and is surrounded by light industrial zoning. The AO zoning to the east is most likely remaining from when the property was annexed.

- B. Compatibility with the comprehensive plan and any adopted long-range plans addressing the area;

Based on the existing design and proposed conditions, negative impacts are not anticipated. The SUP has the conditions that no vehicle repair will take place outdoors on site and no outside storage is allowed.

- C. Enhancement or promotion of the welfare of the area;

The conditions of the SUP lessen the intensity of the use of the property which in turn promotes the welfare of this area. The conditions of the SUP on vehicle repair and storage help preserve neighborhood quality.

- D. Whether the use will be detrimental to the public health, safety, or general welfare; and

Given that there is no repair or storage of vehicles outdoors, there is expected detrimental effects to the public health, safety, or general welfare of the area as the property was designed to accommodate light industrial uses, and the conditions prevent storage on the site.

- E. Conformity with all zoning regulations and standards.

The applicant is not looking to make any additional changes to the site elements. Any changes to the site that requires a permit would need to follow all current standards within the Unified Development Code.

RECOMMENDATION:

That the Planning and Zoning Commission recommend approval of the special use permit with the following conditions:

1. Vehicles in need of repair will not be stored or repaired outdoors on site.
2. Limiting the use of Automobile Repair (Major) to 750 contiguous square feet on the Property
3. No outside storage shall be allowed on the site.

Aerial Map - 519 Bennett Ln



Location Map - 519 Bennett Ln





Owner Authorization

I (Owner) KJS Properties LLC
authorize Timothy Gotcher (EcoPal
Mobile Detail to submit a special use
permit on my behalf.

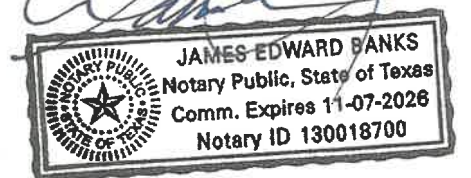
Sign and Date

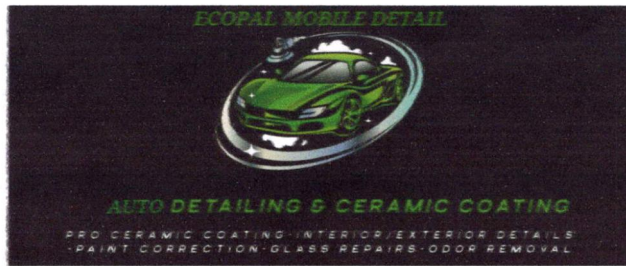
Kyongjin Yi

2-25-2025

State of Texas
County of Collin

Sworn to me before this
27 day of MARCH 2025





To

City of Lewisville

Tel: 972.219.3458

Email: lcook@cityoflewisville.com

Business: EcoPal Mobile Detail

Hours of Business: Mon-Fri 6am-6pm; Sat-Sun 8am-3pm

Business Operation: EcoPal Mobile Detailing is a Eco-Friendly Auto Detailing Company opened 07/2020. Since we've been open we gained over 140 5-Star reviews and thousands of happy and loyal customers. We are continuously improving, growing and striving to be the best in the business, offering a wide variety of services, doing our best in serving our customers.

We offer ceramic coating, paint protection film (PPF), paint correction, window tinting and windshield chip repair services. We also provide pick up and drop off services for our clients or they are welcome to wait in our cozy waiting/office area where they have access to wifi and tv. Most services are completed the same day, but if needed will remain in the shop garage untill pickup. We do everything in the shop and do not use any pollutants or harsh chemicals, thus we do not affect any city's resources. We currently have three employees.

Regarding the Lewisville 2025 Vision we believe in it and fully support it. We also care about sustainability and our work practices reflect our care for the environment and our neighborhoods, we use only the best and safest products that are free from anything harmful to our environment. We value and embrace hollistic approach to sustainability, we make our use of water and energy as very efficiently. We practice diversity and inclusion in everything we do, starting with our employees and customers and going all the way to the companies and products we work with. Our company's goal is providing ecological (safe and clean) care of customers' vehicles and also to create a place that is safe and inviting in all regards for all of our customers and is inclusive and diverse when it comes to our employees, so it can bring the most to our neighborhoods and the city in general.

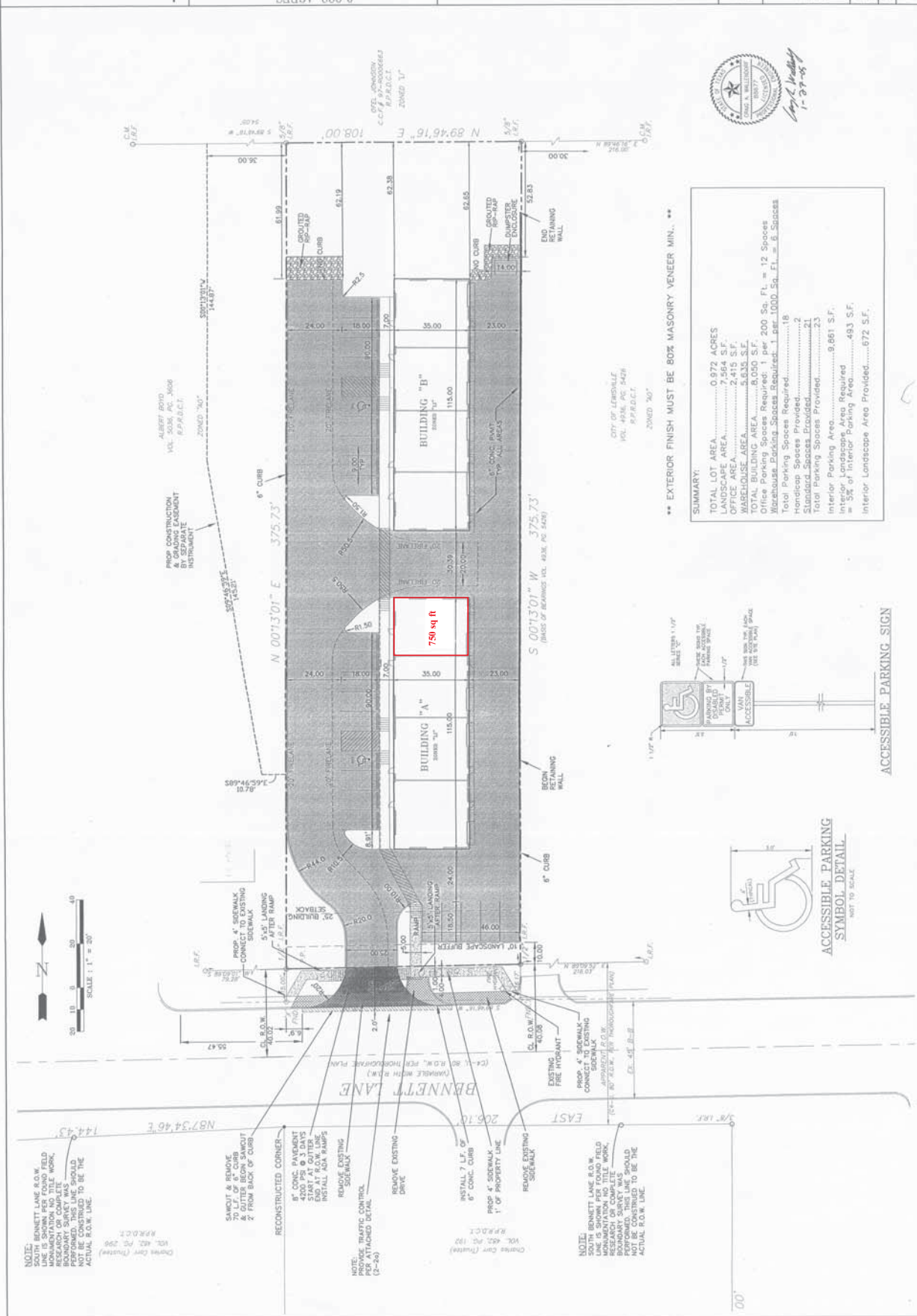
EcoPal Mobile Detail

940-465-8941

519 Bennett Ln #103 Lewisville, Tx 75057

Email: ecopalmobiledetail@gmail.com

Website: ecopalmobiledetail.com

[illegible]

Exterior Photos
519 Bennet Ln
Eco Pal SUP



MEMORANDUM

TO: Planning and Zoning Commission

FROM: Lily Sutton, Planner

DATE: August 5, 2025

SUBJECT: **Public Hearing: Consideration of a Special Use Permit for a Gasoline Service Station on Approximately 0.582 Acres, Legally Described as Lot 1, Block A, Mobil Oil Addition, Located at 1298 West Main Street, and Zoned Local Commercial (LC) District; as Requested by MD Mozharul Islam, Civil Urban Associates, INC., on Behalf of Avna Realty INC, the Property Owner. (Case No. 25-05-8-SUP).**

BACKGROUND:

The applicant is seeking to redevelop its current gasoline service station. The project involves the addition of two new structures. One being the overhead canopy, installation of four dispensers and associated site improvements. The second addition is a new, one-story convenience store totaling 5,290 square feet. The redevelopment intends to improve the efficiency of the fuel facility by increasing the number of fueling positions and increasing the aesthetics of both structures. To the west there is another gasoline service station. To the south and east there is a multi-tenant retail business park. To the north is a multifamily complex and to the northwest is a single-family neighborhood. The original gas service station was built prior to the requirement of a Special Use Permit being adopted by City Council in 2013. The proposed updates to the gas service station requires a Special Use Permit in the LC zoning district.

ANALYSIS:

Site

The site is approximately .582 acres and is currently a gasoline service station. The architectural materials include a smooth finished metal canopy with the retail building consisting a mixture of stone veneer and brick veneer. Two driveways will be provided via Old Orchard Lane and Main Street with circulation designed to accommodate passenger vehicles fueling.

Building

The proposed project consists of the development of a new gasoline service station, including the construction of a 5,290 square-foot convenience store building and a 2,160 square-foot canopy covering four fuel dispensers. The proposed building will feature windows, glass doors, brick, and stone veneer. The metal canopy is designed to complement the main structure and provide appropriate lighting and necessary safety features. This SUP is the first step in the process, next the applicant will need to apply for an Engineering Site Plan (ESP) and then apply for building permits.

The following are the criteria for consideration of a SUP per Section III.9.2 of the UDC.

- A. Compatibility with surrounding uses and community facilities,
The project will redevelop the existing gasoline service station use which remains compatible with the surrounding commercial and retail uses. The project will improve circulation and aesthetics at the intersection.
- B. Compatibility with the comprehensive plan and any adopted long-range plans addressing the area;
The Lewisville 2025 Vision Plan also designates this areas for Big Move Diverse and Thriving Neighborhoods. This redevelopment will offer essential services to the surrounding community and improve the function and feel of this corner. This furthers the goal of sustaining thriving neighborhood.
- C. Enhancement or promotion of the welfare of the area;
The redevelopment of the current gasoline service station will provide updated landscaping, parking, lighting, increased circulation and the aesthetics of the new gasoline service station.
- D. Whether the use will be detrimental to the public health, safety, or general welfare;
and
The use is not detrimental to the public health, safety, or general welfare of the area and is a redevelopment of an existing gas service station.
- E. Conformity with all zoning regulations and standards.
The project will comply with the Unified Development Code once the Special Use Permit.

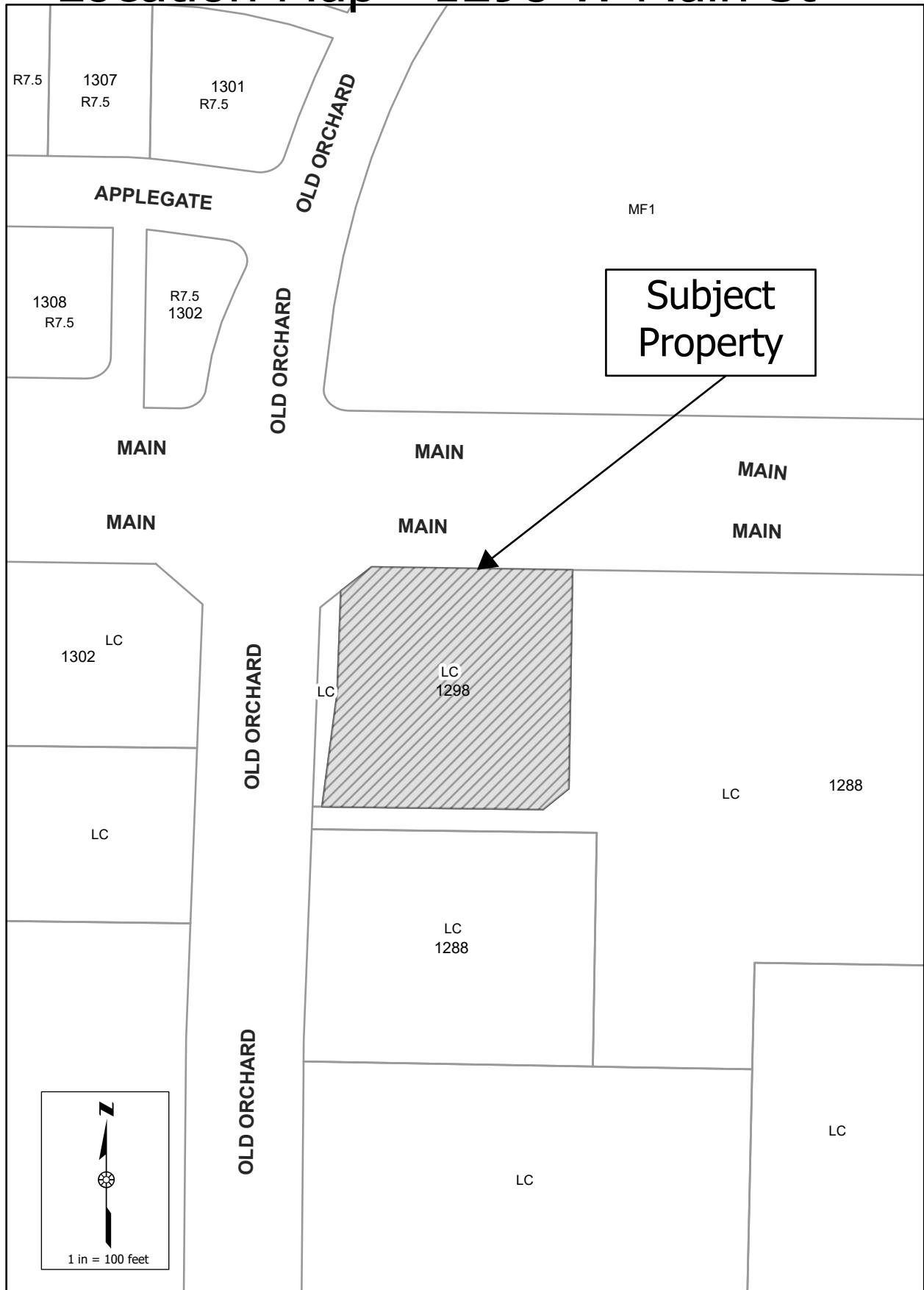
STAFF'S RECOMMENDATION:

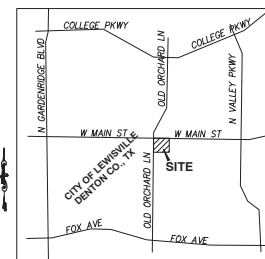
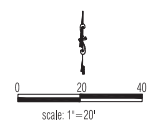
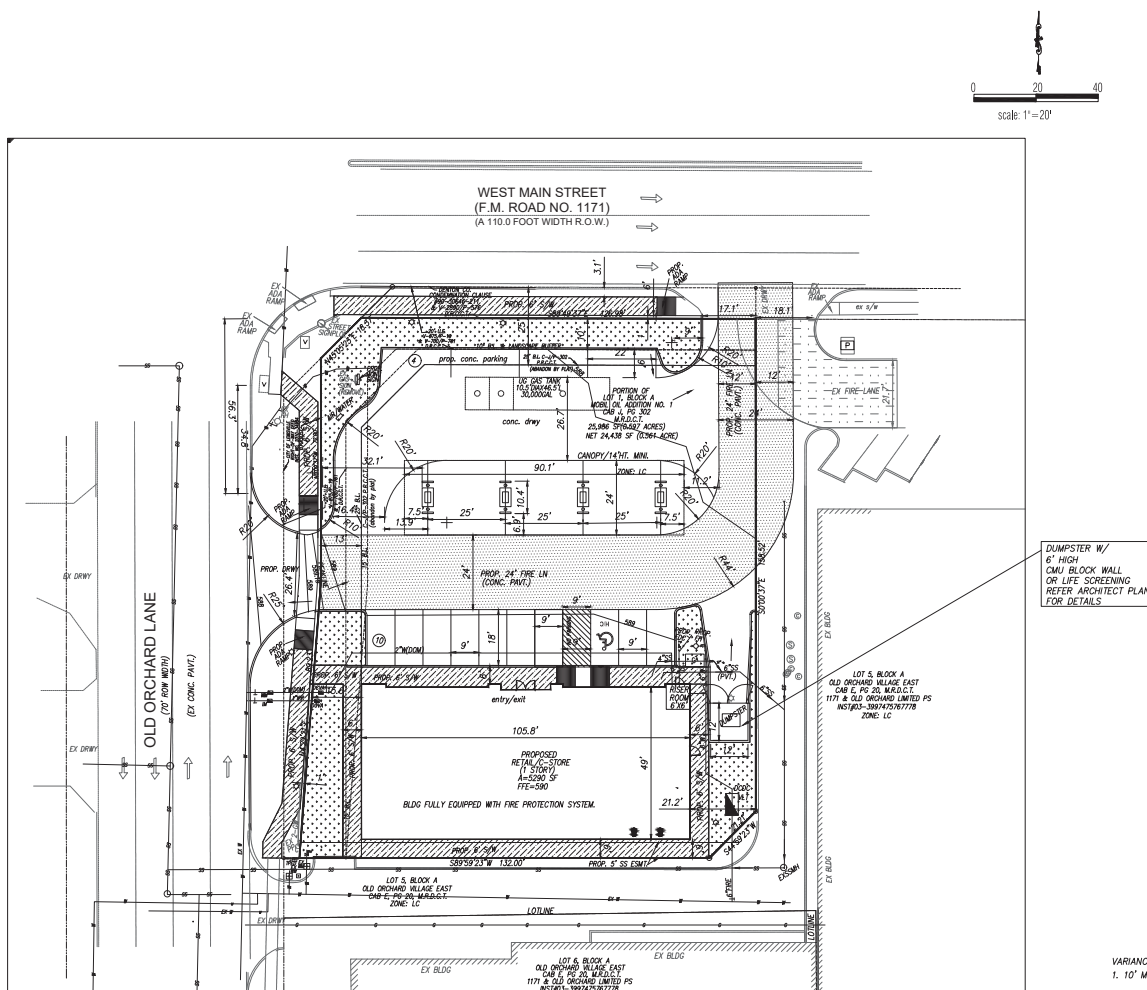
Staff recommends the Planning & Zoning Commission recommend approval of the Special Use Permit as set forth in the caption above.

Aerial Map - 1298 W Main St



Location Map - 1298 W Main St





LOCATION MAP
SCALE 1"=1000'

BL= BUILDING LINE
HC= HANDICAP
IL=INLET
CONC.=CONCRETE
MONU=MONUMENT
ADA= AMERICANS WITH
DISABILITIES ACT
BFP= BACKFLOW PREVENTER
WM=WATER METER
IR OR IRR=IRRIGATION METER
LP=LIGHT POLE
FL=FLOW LINE
DOM=DOMESTIC
C=CURB CUT
B.L.=BUILDING LINE
MONU= MONUMENT

PROJECT SUMMARY	
LOT SIZE (NET AREA)	0.561 ACRE (24,438 SF)
BLDG FOOTPRINT(1 STORY)	5,290 SF
PROPOSED USE	GASOLINE SERVICE STATION
BLDG. HT.	
LOT COVERAGE	5,290 SF (21.6%)
PARKING LOT/DRIVEWAY AREAS	15,980 SF
TOTAL IMPERVIOUS AREA	21,270 SF(87.0%)
PERVIOUS(LANDSCAPE) AREA	3,168 SF(13.0%)
TOTAL PARKING REQUIRED SPACES 300/500 service	17
TOTAL PARKING PROVIDED NON-MARKING PARKING SPACES AT FUEL PUMPS	14 (INCLUDES 1 HC PARKING)
TOTAL PARKING PROVIDED	8
TOTAL PARKING PROVIDED	22

VARIANCE LIST
1. 10' MINIMUM LANDSCAPE BUFFER FOR VEHICLE USE INSTEAD OF 15' ALONG WEST MAIN ST.

FLOOD CERTIFICATE
As determined by the FLOOD INSURANCE RATE MAPS for Denton County, Texas, the subject property Does Not lie within a Special Flood Hazard Area (100 Year Flood), Map date 04-18-2011 Community Panel No. 48121C0545 G.

ZONING EXHIBIT
NET 0.561 ACRE(24,438 SF)
OUT OF
MOBL OIL ADDITION NO. 1
LOT 1, BLOCK A
0.597 ACRE (25,986SF)
CABINET J, PAGES 302
LEWISVILLE, DENTON CO., TX
SITE ADDRESS: 1298 W MAIN ST
LEWISVILLE, TX 75067

CONSULTANT:
Civil Urban Associates, Inc.
• Civil Engineering
• Structural Engineering
• Planning
• Construction Management
• Land Development & Surveying
Form Reg. No. 131795
9401 LBJ Frey Blvd., Dallas, TX 75243
Contact: MR MICHAEL SUAN, P.E.
Phone: 469-238-5985
E-mail: mml@engineersinc.com

DESIGNER:
ANNA REALTY INC (000782)
NET 0.561 ACRE(24,438 SF)
MOBL OIL ADDITION NO. 1
LOT 1, BLOCK A
0.597 ACRE (25,986SF)
CABINET J, PAGES 302
LEWISVILLE, DENTON CO., TX
SITE ADDRESS: 1298 W MAIN ST
LEWISVILLE, TX 75067

OWNER:
ANNA REALTY INC (000782)
NET 0.561 ACRE(24,438 SF)
MOBL OIL ADDITION NO. 1
LOT 1, BLOCK A
0.597 ACRE (25,986SF)
CABINET J, PAGES 302
LEWISVILLE, DENTON CO., TX
SITE ADDRESS: 1298 W MAIN ST
LEWISVILLE, TX 75067

PROJECT:
REVISIONS: DATE:

SEAL
MICHAEL SUAN
REGISTERED PROFESSIONAL ENGINEER
6-26-25

ZONING EXHIBIT

DATE:
3-27-25
DRAWN:
CHECKED:

PROJECT #
c10825
SHEET NO:
c4

C:\Users\l\Documents\2022\22_GET N Go_Cas Station at 1298 Main St Lewisville, TX\2022_GET N Go_Cas Station at 1298 Main St Lewisville, TX\16.25.14

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ACTUAL CONDITIONS, CONSTRUCTION AND/OR USE THEREOF. THIS DRAWING IS TO CONVEY DESIGN INTENTIONS AND/OR CODE COMPLIANCE ONLY. USE OF THESE DRAWINGS IMPLIES AGREEMENT WITH THESE CONDITIONS. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS.

6/16/2025 1:37:58 PM
SHEET SIZE: 30" X 42"



EXTERIOR FINISH LEGEND

- A. FACE BRICK
- B. STONE VENEER
- C. METAL CANOPY
- D. GLAZING & ALUM FRAME

GENERAL NOTES:

- A. ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT'S APPROVAL
- B. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
- C. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR

SCREENING OF SERVICE AREA NOTES:

- A. ROOF TOP UNITS SHOULD BE HIDDEN BY HIGH PARAPATE

MATERIAL PERCENTAGES PER ELEVATION			
NORTH ELEVATION			
	SF	%	
A. BRICK	1170.0	46%	
B. STONE VENEER	856.7	34%	
C. INSULATED METAL CANOPY	28.0	1%	
SUBTOTAL=		2054.7	81%
ALUM GLAZING		482.0	19%
TOTAL=		2536.7	100%
SOUTH ELEVATION			
	SF	%	
A. BRICK	1731.5	72%	
B. STONE VENEER	661.8	28%	
C. INSULATED METAL CANOPY	0.0	0%	
SUBTOTAL=		2393.4	100%
ALUM GLAZING		0.0	0%
TOTAL=		2393.4	100%
EAST ELEVATION			
	SF	%	
A. BRICK	624.6	57%	
B. STONE VENEER	480.0	43%	
C. INSULATED METAL CANOPY	0.0	0%	
SUBTOTAL=		1104.6	100%
ALUM GLAZING		0.0	0%
TOTAL=		1104.6	100%
WEST ELEVATION			
	SF	%	
A. BRICK	624.6	57%	
B. STONE VENEER	480.0	43%	
C. INSULATED METAL CANOPY	0.0	0%	
SUBTOTAL=		1104.6	100%
ALUM GLAZING		0.0	0%
TOTAL=		1104.6	100%
OVERALL			
	SF	%	
A. BRICK	4150.8	58%	
B. STONE VENEER	2478.5	35%	
C. INSULATED METAL PANEL	28.0	0%	
SUBTOTAL=		6657.3	93%
ALUM GLAZING		482.0	7%
TOTAL=		7139.3	100%

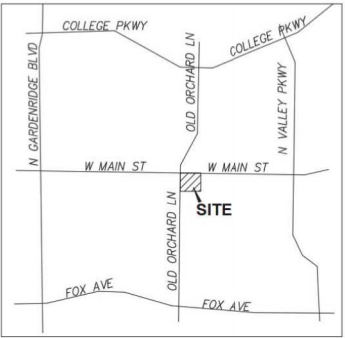
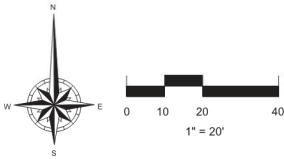


04/09/2025
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Get N Go
1298 Main St Lewisville TX

KEY PLAN		
NO	DATE	CONCEPT DESCRIPTION
1	01/17/2025	CONCEPT
PROJECT NO:2522		

EXTERIOR ELEVATIONS
A-201



LOCATION MAP

Tree Inventory

Tree #	Size	Condition	Common Name	Preserve?	Protected?
1	7"	Fair	Chinaberry	No	No
2	12"	Poor	Cedar Elm	No	Yes
3	14"	Poor/ Heavy Mistletoe	Cedar Elm	No	Yes
Total Protected Removed				26"	

ALSAL
CONSTRUCTION INC.
2712 SATSUMA DR
RICHARDSON, TX 75229
Telephone: 972.488.2873
E-Mail: nehal.alsalconstruction@gmail.com



DAVID L. GARRISON
Landscape Design Studio
4445 Eldorado Drive
Plano, Texas 75093
214-668-4163
david@PlanLandscapes.com



EXISTING TREES

GAS STATION at
1298 W Main Street
Lewisville, TX

REVISIONS:

None

DATE:

1/1/10

JOB NUMBER:

12345

DRAWN BY:

David G

CHECKED BY:

N/A

SCALE:

1" = 20'

SHEET:

TP 1

MEMORANDUM

TO: Planning & Zoning Commission

FROM: Lauren Cook, Planner I

DATE: August 5, 2025

SUBJECT: **Public Hearing:** Consideration of a Special Use Permit for Warehouse Distribution Facility and Manufacturing, Light Intensity; on Approximately 6.986 Acres Out of The E. Aday Survey, Abstract Number 11; Located at 421 Bennett Lane & 451 Bennett Lane, Zoned Light Industrial District (LI) and Agricultural Open Space (AO) With Pending Zone Change to Light Industrial (LI); as Requested by Lindsey Mayer, Dynamic Engineering Consultants, PC on behalf of Eduardo & Ana Ortuno and Rafael & Alfredo Corona, the Property Owners. (Case No. 25-04-6-SUP).

BACKGROUND:

Lovett Industrial, an industrial real estate developer, is intending on turning two lots into one speculative warehouse distribution or manufacturing facility. This project was proposed after the adoption of new standards for such facilities, and as a result, a Special Use Permit (SUP) is required due to the project's proximity to non-industrial uses to the west.

ANALYSIS:

The proposed facility meets all of the supplemental standard requirements for developing any new industrial properties.

The following are the criteria for consideration of an SUP per Section III.9.2 of the UDC.

- A. Compatibility with surrounding uses and community facilities;
Surrounding the lot to the north, east, and south are other properties zoned LI district. These include another unpermitted commercial use to the east which is also subject to code enforcement action; Lipotec USA, Inc., a cosmetics manufacturer to the north; and Huffines Collision Lewisville, an auto repair shop to the south. To the west is a property zoned Local Commercial and to the northwest is a single-family subdivision, zoned Single-Family Residential 7.5 (R-7.5).

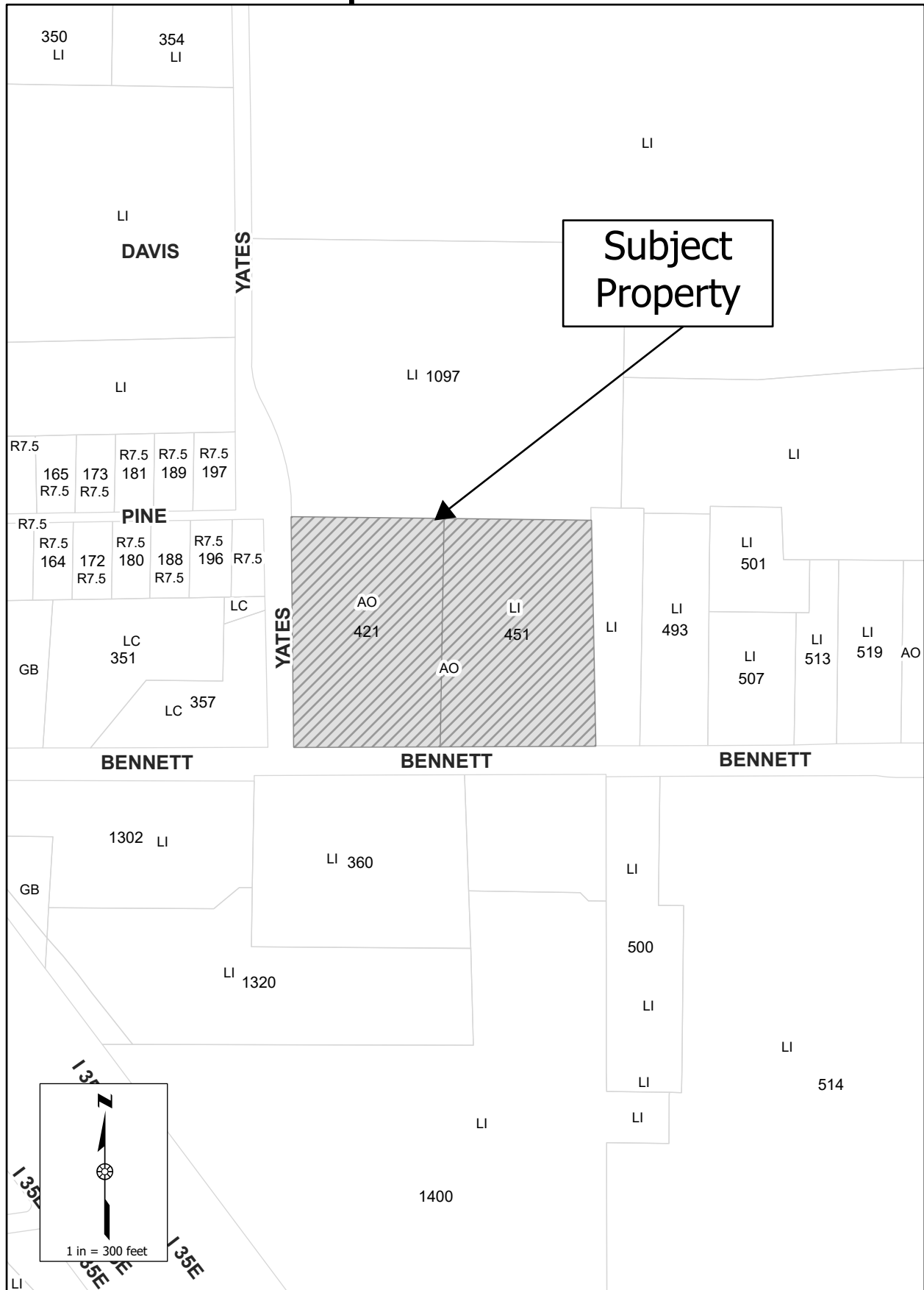
- B. Compatibility with the comprehensive plan and any adopted long-range plans addressing the area;
The subject property is designated as an Employment Center within the Lewisville 2025 Vision Plan. Additionally, the property is within the Transition Sub-District of the IH-35E Corridor Overlay District and any development on the surrounding lots would be subject to the regulations of the IH-35E Corridor Overlay District.

- C. Enhancement or promotion of the welfare of the area;
The current site was occupied by commercial businesses that did not obtain proper permits and were not in compliance with zoning. Code enforcement action was taken beginning in fall of 2023. Obtaining a SUP and developing the subject property would transform the site into a conforming use that aligns with the Lewisville 2035 Big Move Economic Vitality
- D. Whether the use will be detrimental to the public health, safety, or general welfare; and
This site will not have 24-hour trucking and will only operate during reasonable working hours. No negative impacts are foreseen. The driveway on Yates Street is designed to let truck enter but not exit to discourage truck traffic on Yates Street.
- E. Conformity with all zoning regulations and standards.
The site meets all I-35E Overlay Transition subdistrict and supplemental standards associated with distribution warehouse and manufacturing facilities.

CITY STAFF'S RECOMMENDATION:

That the Planning and Zoning Commission recommend approval of the Special Use Permit as set forth in the caption above.

Location Map - 421 & 451 Bennett Ln



Location Map - 421 & 451 Bennett Ln



March 31, 2025

Lewisville Planning Department
151 W. Church St.
Lewisville, TX 75057

RE: *Statement of Planning Letter*
 421 Bennett Lane
 Lewisville, Texas

Dear Mr. Jonathan Beckham:

As a follow-up to our pre-development meeting with city staff, Lovett Industrial has prepared the Statement of Planning letter to request a zoning change for the property located at 421 Bennett Lane.

The subject property is currently designated as AO – Agricultural Open Space on the zoning map and the zoning request is for base LI - Light Industrial. The property is currently hosting a non-compliant building along with what appears to be a laydown yard with some outside storage. Our intent is to develop the property as a Class A logistics facility. This facility will be built on a speculative basis, however, given its very favorable location we imagine the tenant will be local or regional of nature focused on serving the broader community. We would construct the facility using concrete tilt walls, standard glass accents along the offices, and meet the design requirements and city ordinances. The existing undesirable buildings and landscaping will be removed, and we are planning to provide landscaping that meets or exceeds the new zoning ordinance.

The proposed development will see a slight increase in traffic, water, and sewer demand as compared to the existing industrial use. Included with this submittal is a traffic memo that reviews the traffic counts and patterns. The proposed zoning matches the long-range plans and surrounding land uses. The adjacent properties to the north, south, and east are all zoned LI – Light Industrial and being used as such. To the west, across Yates St are LC and R7.5 zoning uses.

We look forward to working with the City and the adjacent property owners on this opportunity. We will send letters to the neighboring residents to request a meeting. We hope to be able to meet with them prior to our scheduled P&Z hearing. It is our intent that the information provided meets or exceeds the expectations laid out within our predevelopment meeting. If there is any additional information you all would like to have that you believe would help assist you all in your review, please do not hesitate to reach out. We will also follow up in a few weeks with our Specific Use Permit submittal.

A special use permit provides a means for evaluating certain land uses to ensure compatibility with adjacent properties. The special use permit process allows consideration of certain uses that may be incompatible or be overly dominant in the area in which they are located, but these characteristics may be addressed through the provisions of additional restrictions and conditions. No alternative standards are being requested with this development.

Please contact me at (972) 489-5570 or james.yu@lovettindustrial.com should you have any questions.

Sincerely,

James Yu, P.E.

March 31, 2025


City of Lewisville
151 West Church Street
Lewisville, TX 75057

Attn: Planning Department

RE: Land Owner Consent
Lovett Industrial
NE Corner of Bennett Lane and Yates Street
Lewisville, Denton County, TX

To Whom It May Concern,

I, Eduardo Ortuno, representative of Ortuno Eduardo & Ana, owner of the property located at the Northeast intersection of Bennett Lane and Yates Street and more specifically the property address 421 Bennett Lane Lewisville, Denton County, TX designate Lovett Industrial to act in the capacity as my agent for filing, processing, representation, and/or presentation of this development application. The designated agent shall be the principal contact for responding to all requests for information and for resolving all issues of concern relative to this application.

DocuSigned by:

8D825109160542F...

Owner's Signature

3/31/2025

Date



Dynamic Engineering Consultants, PC
714 S. Greenville Avenue, Suite 100
Allen, TX 75002
T. 972-534-2100

July 29th, 2025

City of Lewisville
151 West Church Street
Lewisville, TX 75057

Attn: Planning Department

RE: **Land Owner Consent**
Lovett Industrial
451 Bennett Lane
Lewisville, Denton County, TX

To Whom It May Concern,

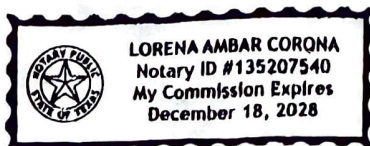
I, Rafael Corona and Alfredo Corona, representative of 451 Bennett Lane, Lewisville, Texas, TX, 75057 owner of the property located at the Northeast intersection of Bennett Lane and Yates Street and more specifically the property address 451 Bennett Lane Lewisville, Denton County, TX designate Lovett Industrial to act in the capacity as my agent for filing, processing, representation, and/or presentation of this development application. The designated agent shall be the principal contact for responding to all requests for information and for resolving all issues of concern relative to this application.


Owner's Signature

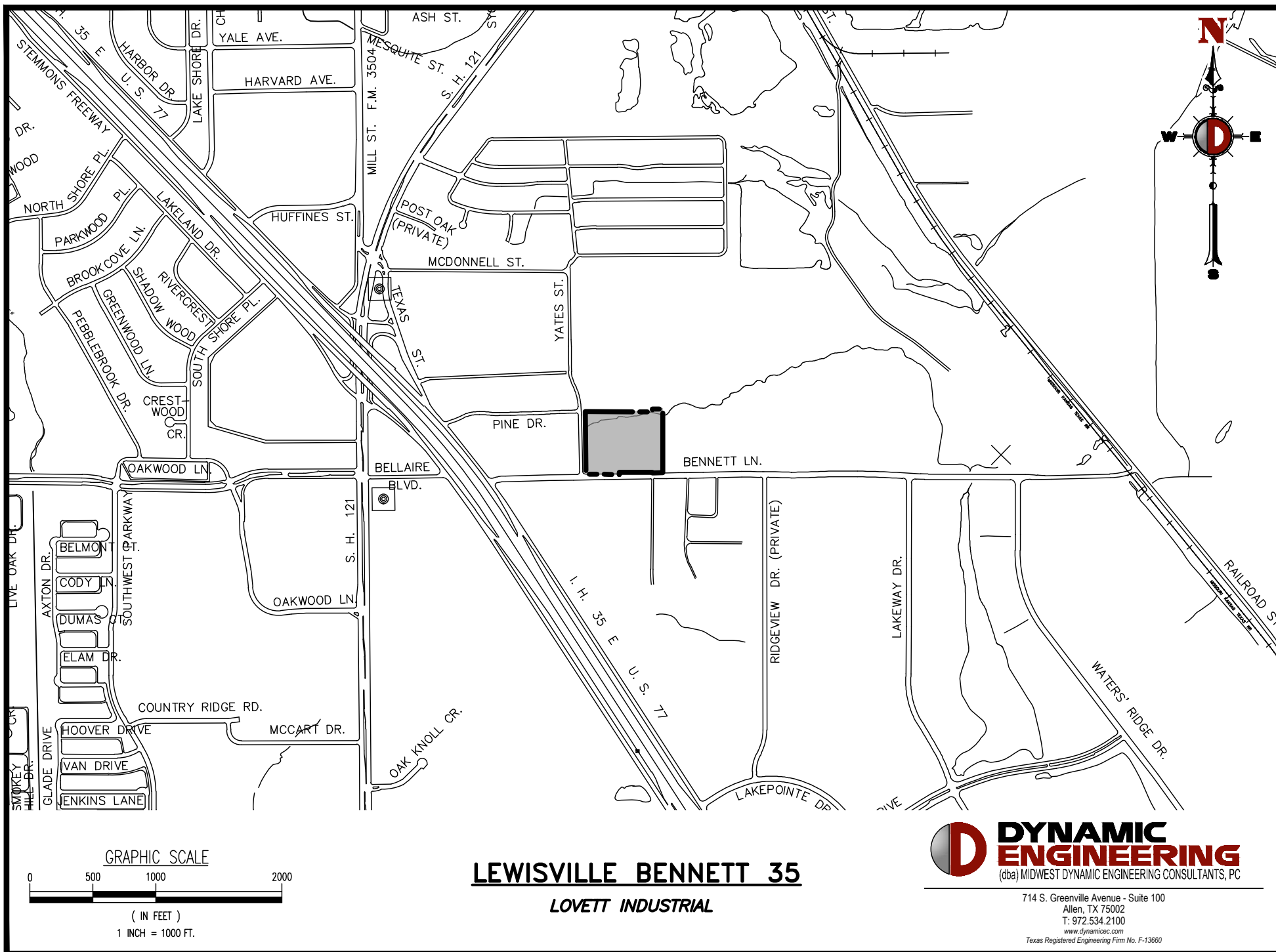
7-30-25
Date

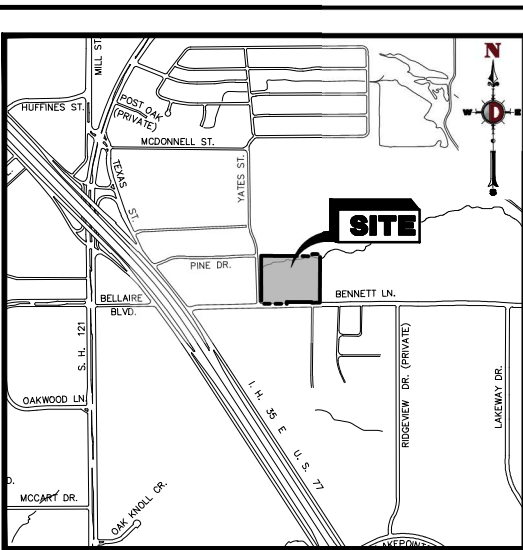
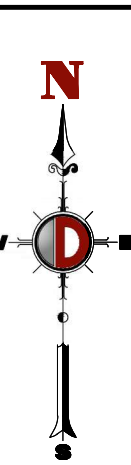

Owner's Signature

7-30-25
Date



 7/30/2025





VICINITY MAP

SCALE: 1" = 1,00'

NOTE:

1. THE NORTHERN WEST BOUND LANE ALONG BENNETT WILL BE STRIPED TO A RIGHT TURN LANE ONLY DURING THE ENGINEERING SITE PLAN PROCESS.

DEVELOPER

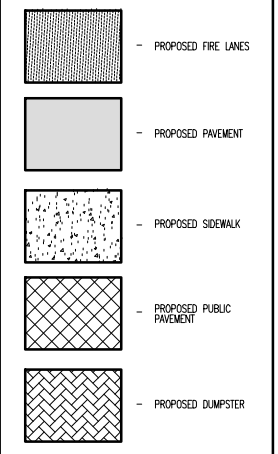
JAMES YU
LOVETT INDUSTRIAL
3811 TURTLE CREEK BOULEVARD, SUITE 105
DALLAS, TEXAS 75219
EMAIL: JAMES.YU@LOVETTINDUSTRIAL.COM

CIVIL ENGINEER

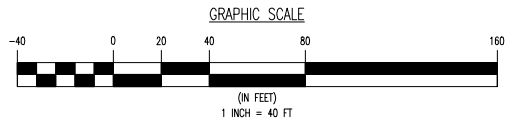
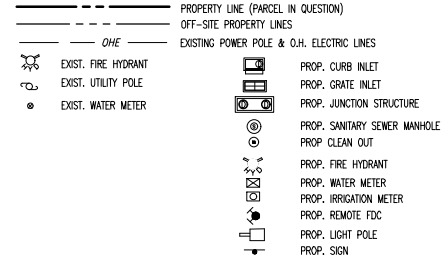
DYNAMIC ENGINEERING CONSULTANTS, PC
LINDSEY G. MAYER, PE
714 S. GREENVILLE AVENUE, SUITE 100
ALLEN, TX 75002
T: 972-534-2100
EMAIL: LMAYER@DYNAMICCEC.COM

ZONING:	REQUIRED	PROVIDED
EXISTING ZONING:	AGRICULTURAL OPEN SPACE / LIGHT INDUSTRIAL	
PROPOSED ZONING:	LIGHT INDUSTRIAL	
PROPOSED USE:	WAREHOUSE DISTRIBUTION OF MANUFACTURING	
GENERAL:	REQUIRED	PROVIDED
SITE ACREAGE:	-	6.037 ACRES
BUILDING AREA:	-	85,500 SF
BUILDING Ht. GHT:	89 FT (MAX.)	40 FT
LOT COVERAGE:	N/A	1.96 ACRES/82.07%
FLOOR AREA RATIO:	-	0.376
PARKING (1 SPACE PER 2,000 SF):	43	80 STALLS
ADA PARKING SPACES:	4	4
TOTAL AREA OF PARKING LOT:	-	40,041 SF
ROW-OLD CATCH AREA:	-	0.11 ACRES
LANDSCAPE:	REQUIRED	PROVIDED
FRONT BUFFER (BENNETT LN):	50 FT	50 FT
FRONT BUFFER (YATES ST):	50 FT	50 FT
REAR BUFFER:	NONE	NONE
TOTAL LANDSCAPED AREA:	-	0.245
LANDSCAPED AREA (EXCLUDING BUFFERS)	13,126 SF	15,547 SF
BUILDING SETBACK:	REQUIRED	PROVIDED
FRONT (BENNETT LN):	25 FT	25 FT
FRONT (YATES ST):	15 FT	15 FT
REAR:	NONE	NONE

PAVING LEGEND



SITE LEGEND

[illegible]

THIS PLAN SET IS FOR PERMITTING PURPOSES
ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DRAWN BY: JK	DESIGNED BY: EH	CHECKED BY: LGM	CHECKED BY: —
-----------------	--------------------	--------------------	------------------

PROJECT: **LEWISVILLE BENNETT 35**
LOVETT INDUSTRIAL
E ADAY SURVEY, ABSTRACT 11, TRACTS 21-25
6.99 ACRES - ZONING: LIGHT INDUSTRIAL
421 BENNETT LANE
LEWISVILLE, DENTON COUNTY, TEXAS 75057



LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING
(dtxa) MIDWEST DYNAMIC ENGINEERING CONSULTANTS, PC
714 S. Greenville Avenue

714 S. Greenville Avenue
Suite 100
Allen, TX 75002
T: 972.534.2100

Offices conveniently located throughout the United States:
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Texas Registered Engineering Firm No. E-13660

www.dynamicc.com

PRELIMINARY PLAN
FOR REVIEW ONLY

THIS DOCUMENT IS RELEASED FOR
THE PURPOSE OF INTERIM REVIEW
AND MARKUP UNDER THE
AUTHORITY OF LINDSEY G. MAYER,
STATE LICENSE NUMBER 107537
ON 07/30/2025. THIS DOCUMENT IS
NOT TO BE USED FOR
CONSTRUCTION, BIDDING, OR PERMIT
PURPOSES.

LINDSEY G. MAYER
PROFESSIONAL ENGINEER
TEXAS LICENSE No. 107537

TITLE: **ZONING CONCEPT
PLAN**

SCALE: (H) 1"=40' (V)	DATE: 07/30/2025
--------------------------	---------------------

PROJECT No:	TBD
-------------	-----

SHEET No: Rev. #:

55



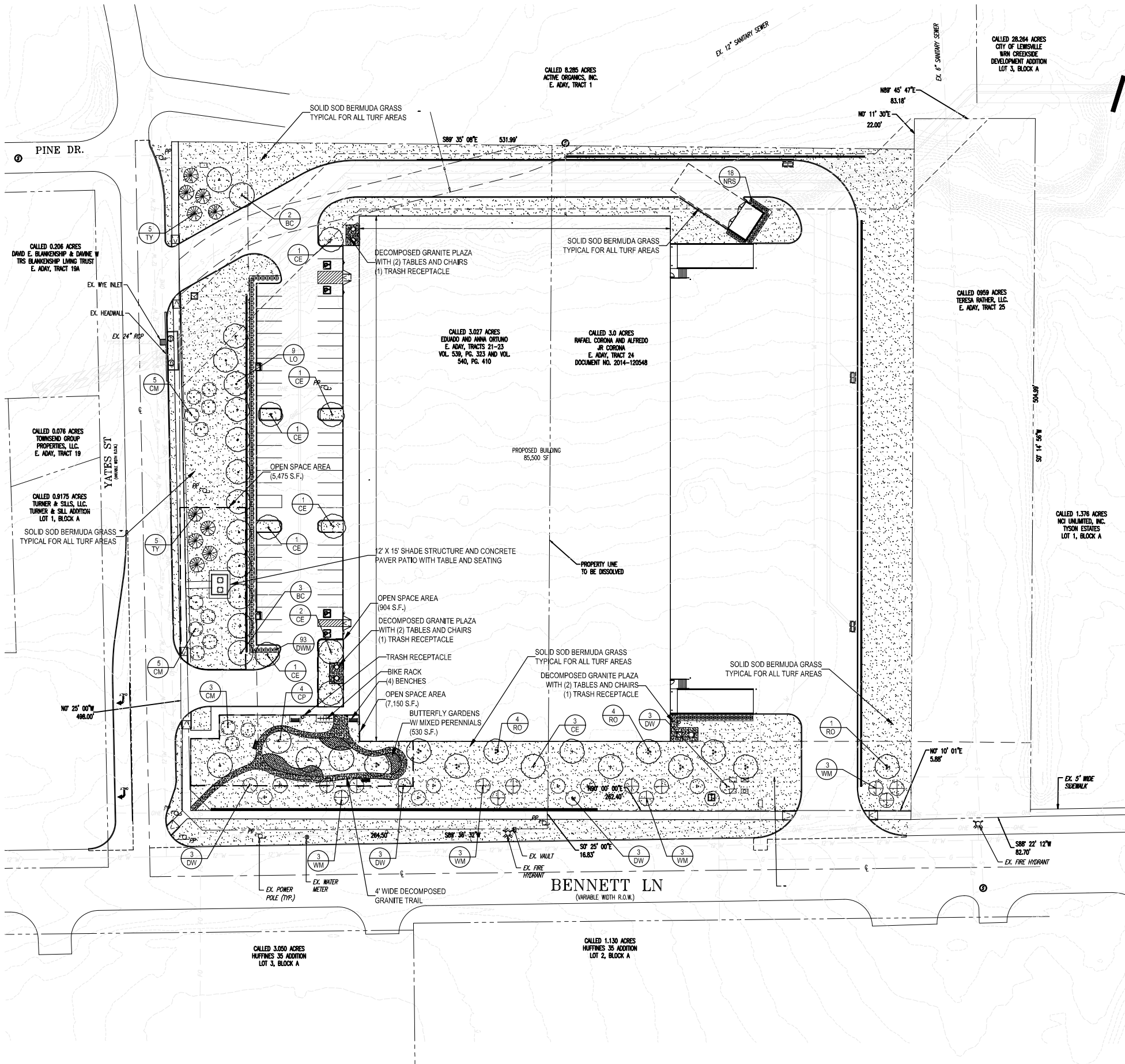
1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
7. ALL LAWN AREAS TO BE SOLID SOO BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM SLOPING AROUND TOP AND BOTTOM OF SLOPES TO OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. IMPORTED TOPSOIL SHALL BE NATURAL, FRAGILE SOIL FROM THE REGION, KNOWN AS BOTTOMLAND WHITE CLAY, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
5. ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
6. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
7. CONTRACTOR SHALL PROVIDE 1" (ONE INCH) OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

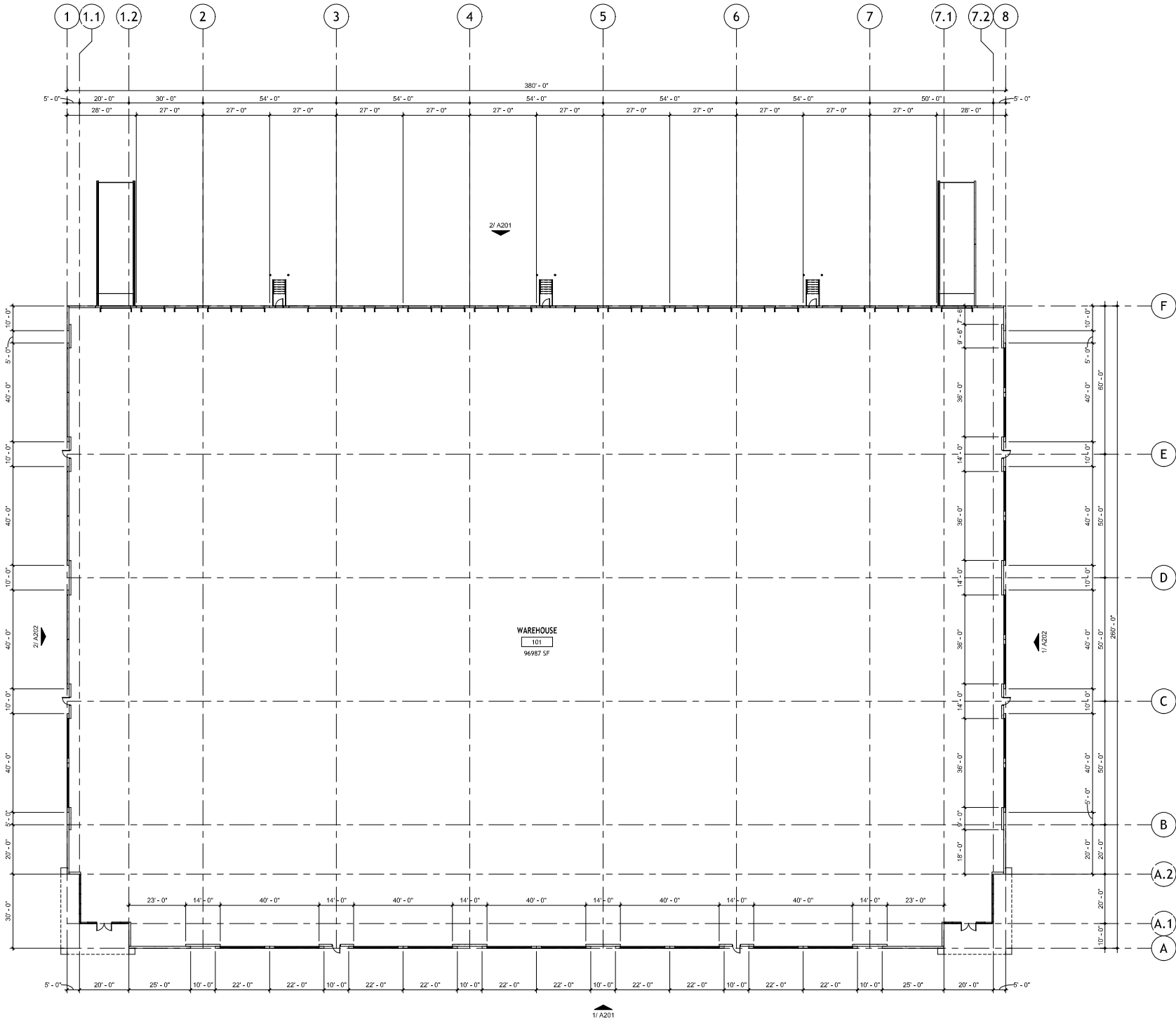
CANOPY TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	11	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	B&B, 14' ht., 6' spread, 5' clear straight trunk
RO	9	Red Oak	<i>Quercus rubra</i>	3" cal.	container, 14' ht., 6' spread, 5' clear straight trunk
LO	9	Live Oak	<i>Quercus virginiana</i>	3" cal.	container, 14' ht., 6' spread, 5' clear straight trunk
BC	9	Bald Cypress	<i>Taxodium distichum</i>	3" cal.	container, 14' ht., 6' spread, 5' clear straight trunk
ORNAMENTAL TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
WM	12	Wax Myrtle	<i>Myrica cerifera</i>	3" cal.	multi-trunk 8' ht., 5' spread straight trunk
DW	12	Desert Willow	<i>Chilopsis linearis</i>	3" cal.	multi-trunk 8' ht., 5' spread straight trunk
CM	13	Crepe Myrtle	<i>Lagerstroemia indica</i>	3" cal.	multi-trunk 8' ht., 5' spread straight trunk
TY	10	Tree Yaupon	<i>Ilex vomitoria</i>	3" cal.	B&B, 8' ht., 5' spread
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DWM	93	Dwarf Wax Myrtle	<i>Myrica cerifera</i>	5 gal.	container grown, 24" ht., 20" spread
NRS	18	Nellie R. Steven Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container grown, 36" ht., 24" spread
GROUND COVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon</i> '419'		Solid Sod refer to notes
NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.					

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
5. PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
6. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
7. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
8. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
9. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
10. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER VEGGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

STREET FRONTAGE:	
REQUIREMENT: 50' WIDE LANDSCAPE BUFFER	
50' WIDE LANDSCAPE BUFFER ALLOW ALL PUBLIC OR PRIVATE STREETS	
REQUIRED	PROVIDED
REQUIREMENT: DOUBLE ROW OF CANOPY TREES 30' O.C. AND (1) UNDERSTORY TREE PER 20 L.F.	
YATES STREET: 412 L.F.	
REQUIRED	PROVIDED
14 CANOPY TREES	15 CANOPY TREES
22 UNDERSTORY TREES	22 UNDERSTORY TREES
BENNETT LANE: 484 L.F.	
REQUIRED	PROVIDED
16 TREES	16 TREES
24 UNDERSTORY TREES	24 UNDERSTORY TREES
TRUCK COURT:	
REQUIREMENT: 12' TALL MASONRY WALL OR CONCRETE TILT WALL SCREENING WALL	
REQUIRED	PROVIDED
PARKING (55 PARKING SPACES)	
REQUIREMENT: 1 TREE PER 8 PARKING SPACES	
PROVIDED	PROVIDED
7 TREES	8 TREES
OPEN SPACE (SITE AREA 258,392 S.F.)	
REQUIREMENT: A MINIMUM OF 5% OF THE SITE SHALL BE OPEN SPACE AREA.	
REQUIRED LANDSCAPE BUFFERS DO NOT COUNT TOWARDS	
OPEN SPACE AREA	
REQUIRED	PROVIDED
22,919 S.F. (5% OF SITE)	13,529 S.F. (5.2% OF SITE)
	SHADE STRUCTURE
	TABLE AND CHAIRS
	2- TWO TOPS
	2- FOUR TOPS
	DECOMPOSED GRANITE PLAZA / WALK
	BUTTERFLY GARDEN
	2 BENCHES
PEDESTRIAN AMENITIES:	
(2) AMENITIES WILL BE LOCATED FULLY WITHIN THE SECONDARY WALKWAY.	
1. TRASH RECEPTACLES - (1) RACK PER 400 L.F. (6 BIKES MIN.)	
2. BENCHES - (1) PER 40 L.F.	



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1 OVERALL FLOOR PLAN
1" = 20'-0"

CITY OF LEWISVILLE - ARCHITECTURAL STANDARDS

- TRANSITION SUB-DISTRICT REGULATIONS
- A. PURPOSE, INTENT AND APPLICABILITY
- a. PURPOSE AND INTENT - THE VISION FOR THE TRANSITION SUB-DISTRICT IS TO CREATE AN APPROPRIATE TRANSITION OF THE DEVELOPMENT CONTEXT FROM THE CORE SUB-DISTRICTS TO EXISTING NEIGHBORHOODS BY:
1. MAINTAINING MOTOR VEHICLE-ORIENTED USES WHILE SOFTENING THEIR FRONTS ALONG MAJOR ROADWAYS WITH LANDSCAPING AND FACADE IMPROVEMENTS.
 2. FOCUSING ON CREATING A MORE ATTRACTIVE FRONTAGE ALONG THE IH-35E HIGHWAY CORRIDOR.
 3. MINIMIZING VISUAL CLUTTER WITH RESPECT TO DRIVEWAYS, SIGNAGE, LACK OF LANDSCAPING, AND OLDER DECLINING BUILDING FACADES.
 4. ESTABLISHING A LONG-TERM REDEVELOPMENT STRATEGY TO ELEVATE PROPERTY VALUES AND DEVELOPMENT CONTEXT.

ARCHITECTURAL STANDARDS - THESE STANDARDS APPLY TO THE EXTERIOR ARCHITECTURAL TREATMENTS WITHIN THE TRANSITION SUB-DISTRICTS. EXTERIOR ARCHITECTURAL TREATMENTS INCLUDE BUILDING ARTICULATIONS, FACADE COMPOSITION, EXTERIOR MATERIALS AND COLORS, WINDOWS AND DOORS, AND AWNINGS AND CANOPIES. THESE STANDARDS ARE INTENDED TO ELEVATE THE VISUAL APPEAL OF THE CORRIDOR DISTRICT THROUGH A COMMON SET OF MINIMUM BUILDING DESIGN STANDARDS.

- BUILDING ARTICULATION AND FACADES
- A. FACADES VISIBLE FROM ANY STREET (EXCEPT ALLEYS), DRIVE THROUGH LANES OR OPEN SPACE SHALL DEMONSTRATE HORIZONTAL AND VERTICAL ARTICULATION WITH A FACADE RHYTHM BETWEEN 20 TO 40 FEET. THIS RHYTHM MAY BE EXPRESSED BY ANY OF THE FOLLOWING:
- a. A CHANGE IN A BUILDING'S HORIZONTAL OR VERTICAL PLANE.
 - b. STEPPING PORTIONS OF FACADES IN AND OUT.
 - c. UTILIZING BALCONIES, COLUMNS OR PILASTERS THAT ARE DISTINCTIVELY SET OUT FROM THE FACADE.
 - d. CHANGING TYPES OR COLORS OF MATERIALS IN COMBINATION WITH OTHER TECHNIQUES.
- B. ALL BUILDING FACADES ALONG IH-35E FRONTAGE ROAD OR AN ARTERIAL STREET SHALL HAVE A MINIMUM OF 50 PERCENT OF THE GROUND FLOOR FACADE COMPRISED OF WINDOWS AND DOORS.
- C. IF WINDOWS AND DOORS CANNOT BE INCORPORATED INTO THE REAR AND SIDE FACADES AS REQUIRED, CHANGES OF BUILDING MATERIALS AND COLOR SHALL BE USED TO CREATE THE APPEARANCE OF SOLIDS AND VOIDS.

- BUILDING ENTRANCES
- A. PRIMARY ENTRANCES SHALL BE EMPHASIZED ARCHITECTURALLY WITH AWNINGS, RECESSED ENTRIES, PILASTERS, ETC.
- B. A MINIMUM 12-FOOT-WIDE SECONDARY WALKWAY SHALL BE REQUIRED ALONG EACH FACADE WITH PRIMARY ENTRANCES INTO BUSINESSES OR TENANT SPACES, IF SUCH A FACADE FACES A PARKING LOT ON THE PROPERTY. THIS SECONDARY WALKWAY SHALL INCORPORATE SHADING ELEMENTS ALONG THE ENTIRE APPLICABLE FACADE IN THE FORM OF CANOPIES, TREES OR A COMBINATION OF THE TWO (2). SEE EXHIBIT V1.8.1-12.
- a. CANOPIES SHALL EXTEND AT LEAST TWO (2) FEET FROM THE FACADE.
 - b. TREES WITHIN THE SECONDARY WALKWAY SHALL BE PLANTED AT AN AVERAGE SPACING OF 40 FEET. TREES SHALL BE SELECTED FROM THE CANOPY TREE LIST IN APPENDIX G AND SHALL BE A MINIMUM OF TWO AND ONE-HALF-INCH (2 1/2") CALIPER WHEN PLANTED.
- C. SPECIFIC STANDARD FOR ADMINISTRATIVE MODIFICATION - AN ADMINISTRATIVE MODIFICATION MAY BE REQUESTED TO USE SPECIES NOT LISTED IN APPENDIX G THAT ARE DROUGHT TOLERANT AND ADAPTIVE.

- FACADE MATERIALS AND COLORS
- A. FACADE MATERIALS - EXCEPT EXTERIOR WALL (EXCEPT WINDOW AND DOOR AREA) OF A BUILDING OR PARKING STRUCTURE SHALL COMPLY WITH THE FOLLOWING MATERIAL REQUIREMENTS:
- a. EIGHTY PERCENT (80%) OR MORE OF EACH EXTERIOR WALL SHALL BE COMPRISED OF BRICK OR STONE. THE REMAINDER OF EACH EXTERIOR WALL MAY BE COMPRISED OF EITHER THREE-STEP STUCCO (EIFS SHALL ONLY BE ALLOWED AT LOCATIONS NINE (9) FEET ABOVE GRADE), ARCHITECTURAL METAL, CLADDING, OR PANELS, OR A COMBINATION THEREOF.
 - b. ACCENT MATERIALS MAY BE COMPRISED OF PRE-CAST STONE, METAL, OR OTHER ARCHITECTURAL MATERIALS.
- B. INDUSTRIAL OR MANUFACTURING PLANTS OR OFFICE BUILDINGS THAT ARE 50,000 SQUARE FEET OR GREATER MAY USE TILT WALL AND/OR PRE-CAST CONCRETE CONSTRUCTION IF COMPRISED OF A MINIMUM OF 15 PERCENT (15%) BRICK OR STONE ON FACADES FACING A PUBLIC STREET/PRIVATE VEHICULAR ROUTE AND A MINIMUM OF TEN PERCENT (10%) BRICK OR STONE ON ALL OTHER FACADES.
- C. COLORS - AT LEAST TWO (2) MAIN COLORS, AND NO MORE THAN FIVE (5) COLORS, SHALL BE USED ON EACH ELEVATION. EIGHTY PERCENT (80%) OF EACH ELEVATION MUST UTILIZE NATURAL AND/OR EARTH TONE COLORS, AND EACH ELEVATION MUST HAVE 20 PERCENT OF ANOTHER TYPE OF COLOR. BUILDINGS SHALL NOT HAVE COLORS THAT ARE FLUORESCENT OR BRIGHT (E.G., YELLOW, GREEN, PURPLE) VISIBLE FROM ANY PUBLIC PLACE OR PUBLIC STREET. THIS SHALL INCLUDE SERVICE DOORS, DOWN SPOUTS, UTILITY BOXES, PANELS AND OTHER SIMILAR FEATURES INTEGRAL TO THE PRINCIPAL BUILDING. VARIATIONS OF NATURAL AND/OR EARTH TONE BRICK OR STONE WITHIN THE SAME COLOR FAMILY SHALL BE COUNTED AS ONE (1) COLOR.

- AWNINGS AND CANOPIES
- A. ALL FACADES WITHIN THE SECONDARY WALKWAY SHALL BE PLANTED AT AN AVERAGE SPACING OF 40 FEET. TREES SHALL BE SELECTED FROM THE CANOPY TREE LIST IN APPENDIX G AND SHALL BE A MINIMUM OF TWO AND ONE-HALF-INCH (2 1/2") CALIPER WHEN PLANTED.
- B. CANOPIES SHALL EXTEND AT LEAST TWO (2) FEET FROM THE FACADE.
- C. AWNINGS OR CANOPIES MAY ENCRoACH OVER WALKWAYS UP TO 50 PERCENT OF THE WIDTH OF THE WALKWAY OR SIDEWALK OR FIVE (5) FEET, WHICHEVER IS GREATER. THEY SHALL MAINTAIN A MINIMUM NINE-FOOT (9') VERTICAL CLEARANCE AS MEASURED BETWEEN THE BOTTOM OF THE AWNING/CANOPY AND THE FINISHED GRADE OF THE WALKWAY. IN NO CASE SHALL AN AWNING OR CANOPY ENCRoACH OVER A TRAVEL ZONE, DRIVEWAY, OR FIRE LANE.

- WINDOWS
- A. WINDOW FRAMING MATERIALS SHALL CONSIST OF ANODIZED ALUMINUM, VINYL, OR STEEL.
- B. FOR REQUIRED WINDOWS AT THE GROUND FLOOR, A MINIMUM 60 PERCENT (60%) VISIBLE LIGHT TRANSMITTANCE SHALL BE REQUIRED.
- a. SPECIFIC STANDARD AND FINDINGS FOR ADMINISTRATIVE MODIFICATIONS - WINDOWS HAVING A VISIBLE LIGHT TRANSMITTANCE LESS THAN 60 PERCENT MAY BE ALLOWED WITH AN ADMINISTRATIVE MODIFICATION IF STAFF FINDS THAT IT IS NECESSARY IN ORDER FOR THE WINDOWS TO SATISFY ADOPTED BUILDING AND ENERGY CODE REQUIREMENTS RELATED TO ENERGY EFFICIENCY.
- C. MIRRORING GLASS IS PROHIBITED.
- D. NO MORE THAN 50 PERCENT OF THE WINDOWS ON ANY FACADE MAY BE REFLECTIVE GLASS.
- E. WINDOW SCREENS ARE PROHIBITED ON GROUND FLOORS WHICH DO NOT CONTAIN NON-RESIDENTIAL USES.
- F. HORIZONTAL GROUPINGS OF WINDOWS SHALL NOT EXCEED FIVE (5) PER GROUPING, WHERE GROUPINGS ARE SEPARATED BY A MULLION, COLUMN, OR WALL SECTION A MINIMUM OF SEVEN (7) INCHES WIDE.
- G. WINDOWS SHALL BE A MINIMUM OF 30 INCHES FROM BUILDING CORNERS, UNLESS SEPARATED BY A CORNER MULLION OR COLUMN TWO TIMES THE WIDTH USED IN GROUPING.
- H. FOR STOREFRONTS, THE FOLLOWING ARE PROHIBITED:
- a. SINGLE PANE GLASS WINDOWS.
 - b. BLACK GLASS, OPAQUE GLASS, AND OTHER "FALSE WINDOW" TECHNIQUES.
 - c. DOORS WITH NO OPAQITY.
 - d. WINDOWS WHICH DO NOT PERMIT UNOBSTRUCTED VIEWS INTO THE BUILDING.

TOTAL MATERIAL CALCULATIONS (ELEVATIONS)

TOTAL SQUARE FOOTAGE: 54,415 SF
STONE / MASONRY: 7,717 SF (14%)
CONCRETE: 35,692 SF (65%)
STOREFRONT / CURTAINWALL: 5,997 SF (11%)
ACM PANELS: 775 SF (1%)
STUCCO: 1,894 SF (3%)
STANDING SEAM METAL AWNING: 850 SF (2%)
OVERHEAD DOORS / MAN DOORS: 2,448 (4%)

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ARCHITECT: Whys Chdls
ARCH. REG. NO: XXXXXX
DATE: MAY 23, 2025

REVISIONS

NO.	DATE	DESCRIPTION





DRAWN BY: DDS
CHECKED BY: DDS
DDS PROJ. NO: 25.010
PROJECT ISSUED: 2025.05.23
SHEET ISSUED: MAY 23, 2025


Schematic Design (SD)


OVERALL FIRST FLOOR
PLAN

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
INTERIOR ELEVATION MATERIALS LEGEND


PAINT	
	P-1 - WHITE
	P-2 - LIGHT GRAY
	P-3 - MEDIUM GRAY
	P-4 - DARK GRAY

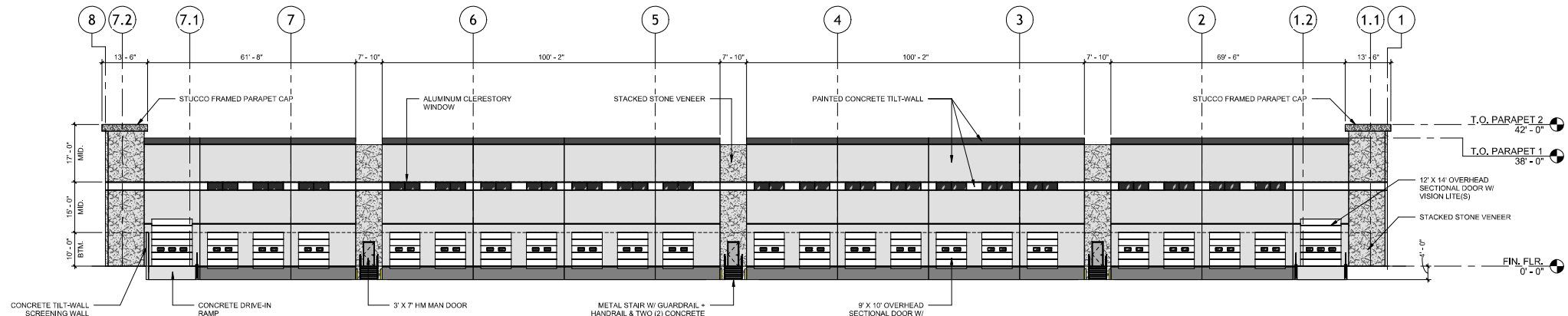
FORMLINER	
	FL-1 - STACKED WOOD FORMLINER (PAINT P-3)

STONE VENEER	
	SV-1 - STACKED TEXAS STONE VENEER (LIGHT & MEDIUM GRAY)

STUCCO PARAPET CAP	
	ST-1 - FRAMED STUCCO PARAPET CAP (PAINT P-4)

CURTAINWALL / STOREFRONT	
	SF-1 - ANODIZED FINISH - MATTE BLACK

EXTERIOR GLAZING	
	GL-1 - EXTERIOR VISION GLAZING

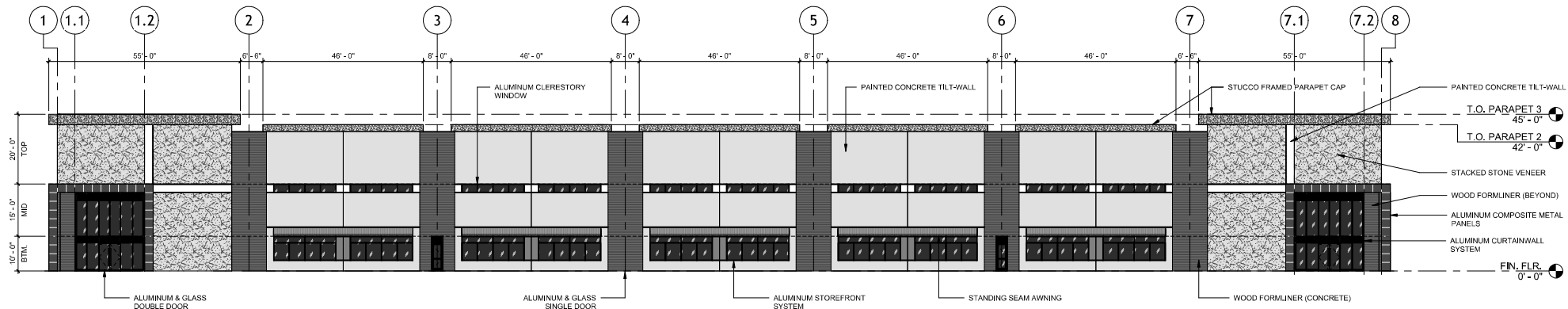


2 EAST ELEVATION (TERTIARY)

1/16" = 1'-0"

EAST ELEVATION MATERIAL CALCULATIONS

TOTAL SQUARE FOOTAGE:	15,924 SF
STONE / MASONRY:	1,663 SF (11%)
CONCRETE:	11,394 SF
STOREFRONT:	473 SF
DOORS:	2,448 SF
STUCCO:	54 SF



1 WEST ELEVATION (SECONDARY)

1/16" = 1'-0"

WEST ELEVATION MATERIAL CALCULATIONS

TOTAL SQUARE FOOTAGE:	16,315 SF
STONE / MASONRY:	2,628 SF (16%)
CONCRETE:	9,791 SF
STOREFRONT / CURTAINWALL:	2,731 SF
GROUND FLOOR (BTM.) STOREFRONT / CURTAINWALL:	1,641 SF (42%)
ACM PANELS:	375 SF
STUCCO:	790 SF
STANDING SEAM METAL AWNING:	500 SF

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ARCH. REG. NO.	XXXXXX
DATE	MAY 23, 2025

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY:	DDS
CHECKED BY:	DDS
DDS PROJ. NO:	25.010
PROJECT ISSUED:	2025.05.23
SHEET ISSUED:	MAY 23, 2025

Schematic Design (SD)

OVERALL EXTERIOR
ELEVATIONS 1

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INTERIOR ELEVATION MATERIALS LEGEND

PAINT

P-1 - WHITE
P-2 - LIGHT GRAY
P-3 - MEDIUM GRAY
P-4 - DARK GRAY

FORMLINER

FL-1 - STACKED WOOD
FORMLINER (PAINT P-3)

STONE VENEER

SV-1 - STACKED TEXAS
STONE VENEER (LIGHT &
MEDIUM GRAY)

STUCCO PARAPET CAP

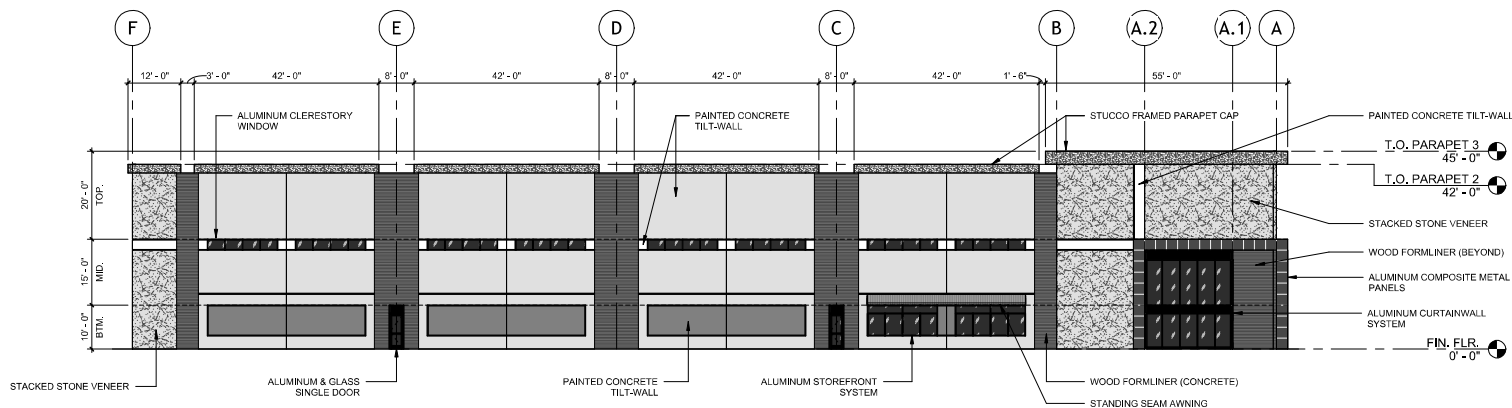
ST-1 - FRAMED STUCCO
PARAPET CAP (PAINT P-4)

CURTAINWALL / STOREFRONT

SF-1 - ANODIZED FINISH -
MATTE BLACK

EXTERIOR GLAZING

GL-1 - EXTERIOR VISION
GLAZING

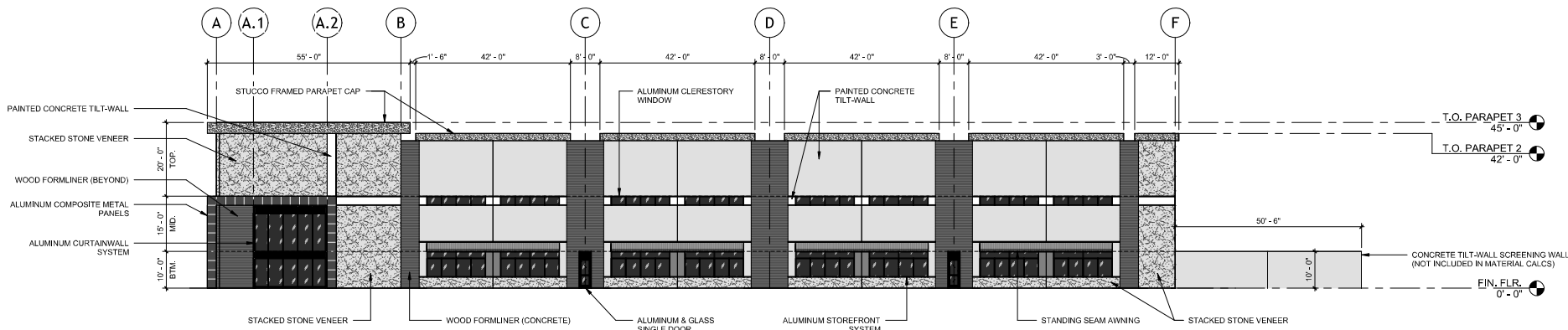


2 NORTH ELEVATION (TERTIARY)

1/16" = 1'-0"

NORTH ELEVATION MATERIAL CALCULATIONS

TOTAL SQUARE FOOTAGE: 11,088 SF
STONE / MASONRY: 1,476 SF (13%)
CONCRETE: 7,808 SF
STOREFRONT / CURTAINWALL: 1,081 SF (10%)
ACM PANELS: 200 SF
STUCCO: 525 SF
STANDING SEAM METAL AWNING: 90 SF



1 SOUTH ELEVATION (PRIMARY)

1/16" = 1'-0"

SOUTH ELEVATION MATERIAL CALCULATIONS

TOTAL SQUARE FOOTAGE: 11,088 SF
STONE / MASONRY: 1,950 SF (17.5%)
CONCRETE: 6,681 SF
STOREFRONT / CURTAINWALL: 1,732 SF
GROUND FLOOR (BTM.) STOREFRONT / CURTAINWALL: 1,114 SF (42%)
ACM PANELS: 200 SF
STUCCO: 525 SF
STANDING SEAM METAL AWNING: 360 SF

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ARCHITECT: Whys Chdls
ARCH. REG. NO: XXXXXX
DATE: MAY 23, 2025

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY: DDS

CHECKED BY: DDS

DDS PROJ. NO: 25.010

PROJECT ISSUED: 2025.05.23

SHEET ISSUED: MAY 23, 2025

Schematic Design (SD)

**OVERALL EXTERIOR
ELEVATIONS 2**

TRAFFIC MANAGEMENT MEMORANDUM

To: Sirwan Shahooei, PhD, PE, PTOE
Senior Traffic Engineer
City of Lewisville

From: Justin Taylor, PE, PTOE

Date: May 29, 2025

Re: Traffic Management Memorandum
Proposed Warehouse
421 Bennett Lane
E Aday Survey, Abstract 11, Tracts 21-25
City of Lewisville, Denton County, TX
DT #4006 24-04280



As requested by the City of Lewisville, Dynamic Traffic has prepared the following Traffic Management Memorandum for the proposed construction of a 98,800 SF warehouse located along the westbound (northerly) side of Bennett Lane on the northeast quadrant of its intersection with Yates Street in the City of Lewisville, Denton County. Access to the site is proposed to be provided via one (1) full-movement driveway along Bennett Lane and one (1) full-movement driveway along Yates Street at the southern end of the property and one (1) enter only driveway at the northern end of the property. This memorandum details the trip generation, trip distribution and auxiliary lane analysis associated with the proposed development.

Trip Generation

Trip generation projections for The Project were prepared utilizing trip generation research data as published under Land Use Code (LUC) 150 – Warehousing in the Institute of Transportation Engineers' (ITE) publication, *Trip Generation Manual, 11th Edition*. This publication sets forth trip generation rates based on empirical traffic count data conducted at numerous research sites. The following table shows the anticipated trip generation for The Project during a weekday, the weekday morning and weekday evening peak street hours (PSH).

**Table 1
ITE Trip Generation**

Use	Trip Type	Daily	AM PSH			PM PSH		
			In	Out	Total	In	Out	Total
Proposed 98,800 SF Warehouse ITE LUC 150	Total	194	27	8	35	10	28	38
	Truck	59	1	1	2	2	1	3
	Passenger Vehicle	135	26	7	33	8	27	35

As can be seen above, the project is anticipated to generate a maximum of 35 peak hour trips and a maximum of three (3) truck peak hour trips. It is noted that no credit was taken for the existing commercial use that currently generates heavy vehicle and tractor trailer traffic on the site. The impact of truck traffic in the future condition is, therefore, anticipated to be negligible.

Trip Distribution

The distribution of new traffic to the surrounding roadways is based on the location of primary arterial roadways and major signalized intersections. It is anticipated that 80% of automobile traffic will be oriented to/from the west along Bennett Road and 15% to/from the east along Bennett. The remaining 5% is oriented to/from Yates Street to the north. The distribution of the truck traffic is also anticipated to be primarily to/from the west along Bennett Road since this provides access to the state and interstate highway network. Further, the northern access aisle is proposed to be one-way in the eastbound direction which will require all exiting maneuvers from the loading dock area to be through the Bennett Lane driveway. Figures depicting the anticipated peak hour and daily distributions and traffic volumes are appended.

Auxiliary Lane Analysis

The projected site generated traffic along Bennet Lane and Yates Street were compared to the thresholds set forth in the Lewisville Development Code. According to the Lewisville Development Code, Section IX.4.5(D), deceleration lanes are required at commercial driveways which access streets where the speed limit is less than 45 mph and where the driveway ingress volume is greater than 50 vehicles per hour (VPH); and access streets where the speed limit is greater than or equal to 45 miles per hour and where driveway ingress volume is greater than 60 vehicles per hour (VPH). Table 2 below compares the right turn volume threshold and the anticipated entering volume at each of the proposed driveways.

Table 2
Deceleration Lane Analysis

Roadway	Speed Limit	Driveway	Ingress Volume Threshold	AM PSH Entering Volume	PM PSH Entering Volume	Deceleration Lane Warranted?
Bennet Lane	40	Driveway	50	0	0	No
Yates Street	30	Northerly Driveway	50	0	0	No
		Southerly Driveway	50	25	8	No

As shown in the Table above, all three (3) of the proposed driveways do not warrant the construction of a deceleration lane during either of the weekday morning and weekday evening peak hours.

Truck Circulation

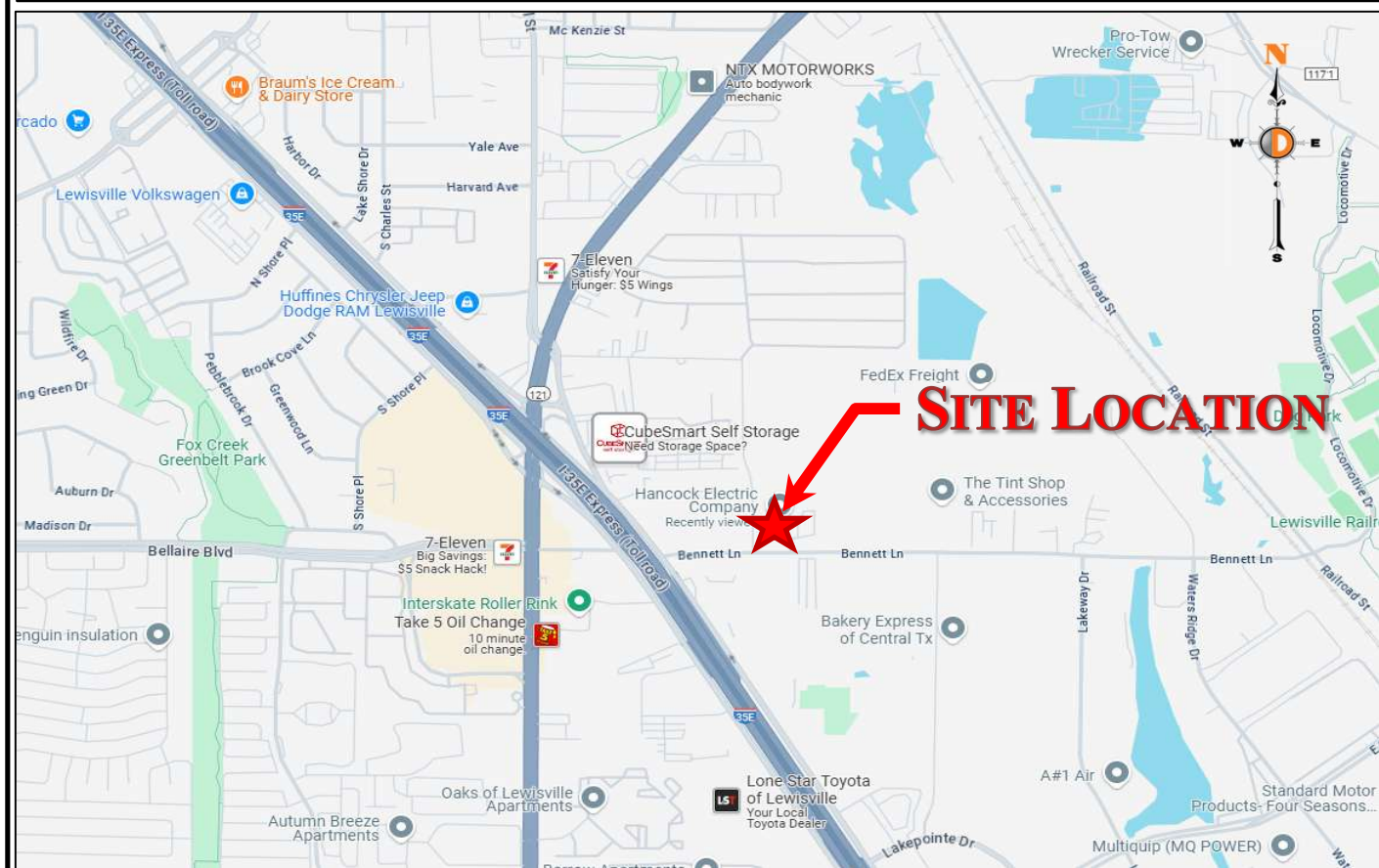
As previously mentioned, a maximum of three (3) truck peak hour trips are anticipated for the proposed warehouse which equates to approximately one (1) truck trip per 20 minutes during the peak hour. The access management plan of the site has been designed to accommodate truck traffic through the Bennett Lane driveway and northerly Yates Street driveway. The truck circulation throughout the site showing each of the design turning movements at the previously mentioned site driveways is enclosed.

Conclusion

Based upon the projected trip generation for the site and the anticipated directional distribution, it is the professional opinion of Dynamic Traffic that the proposed redevelopment of the site will not have any detrimental impact to the surrounding roadway network. The existing street network and proposed driveway design orient traffic to and from Bennett Lane and away from points north along Yates Street. Should you have any questions or require any additional information, please do not hesitate to contact our office.

c: David Russell
James Yu
Josh Edge/Lindsey Mayer

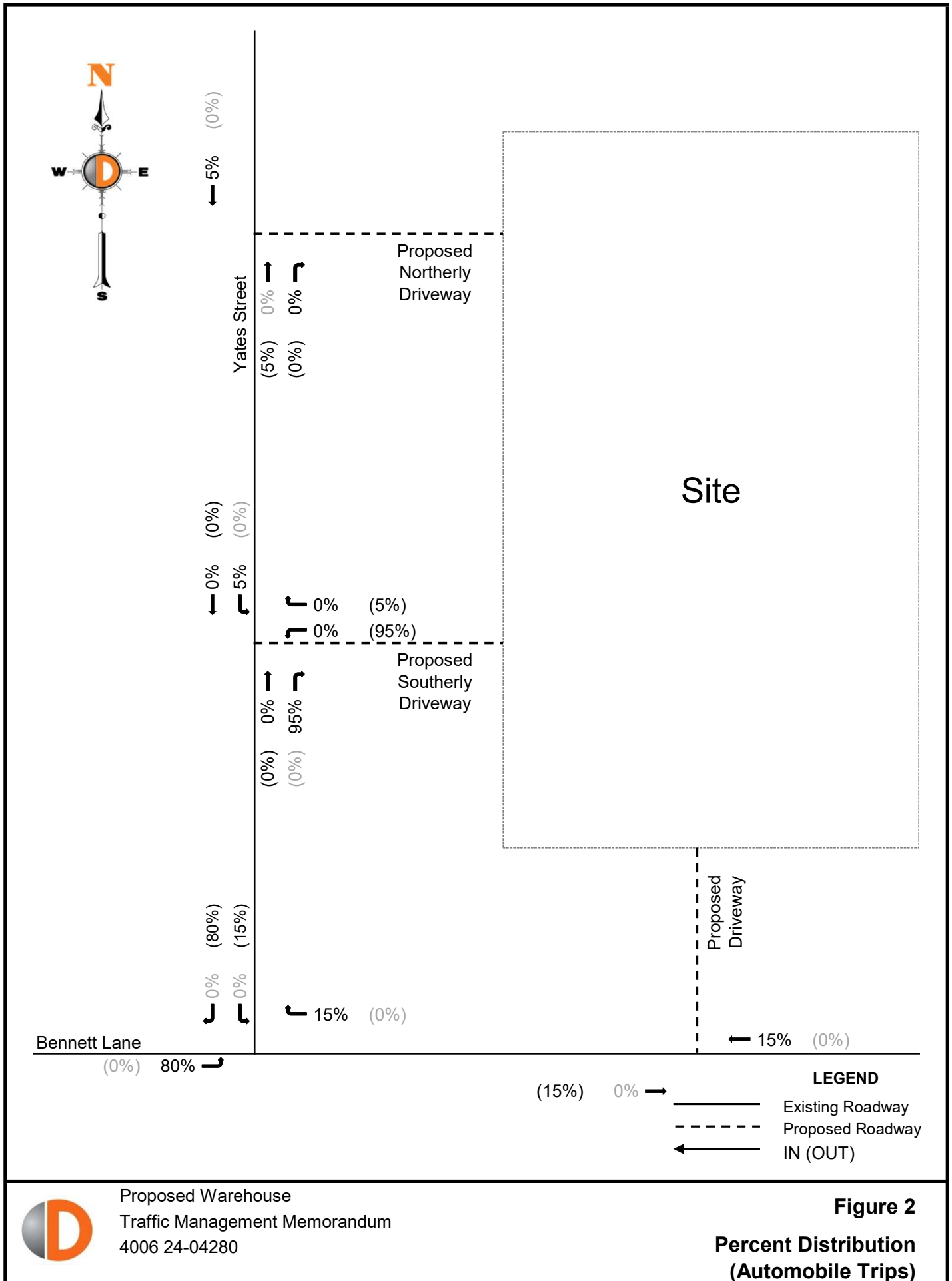
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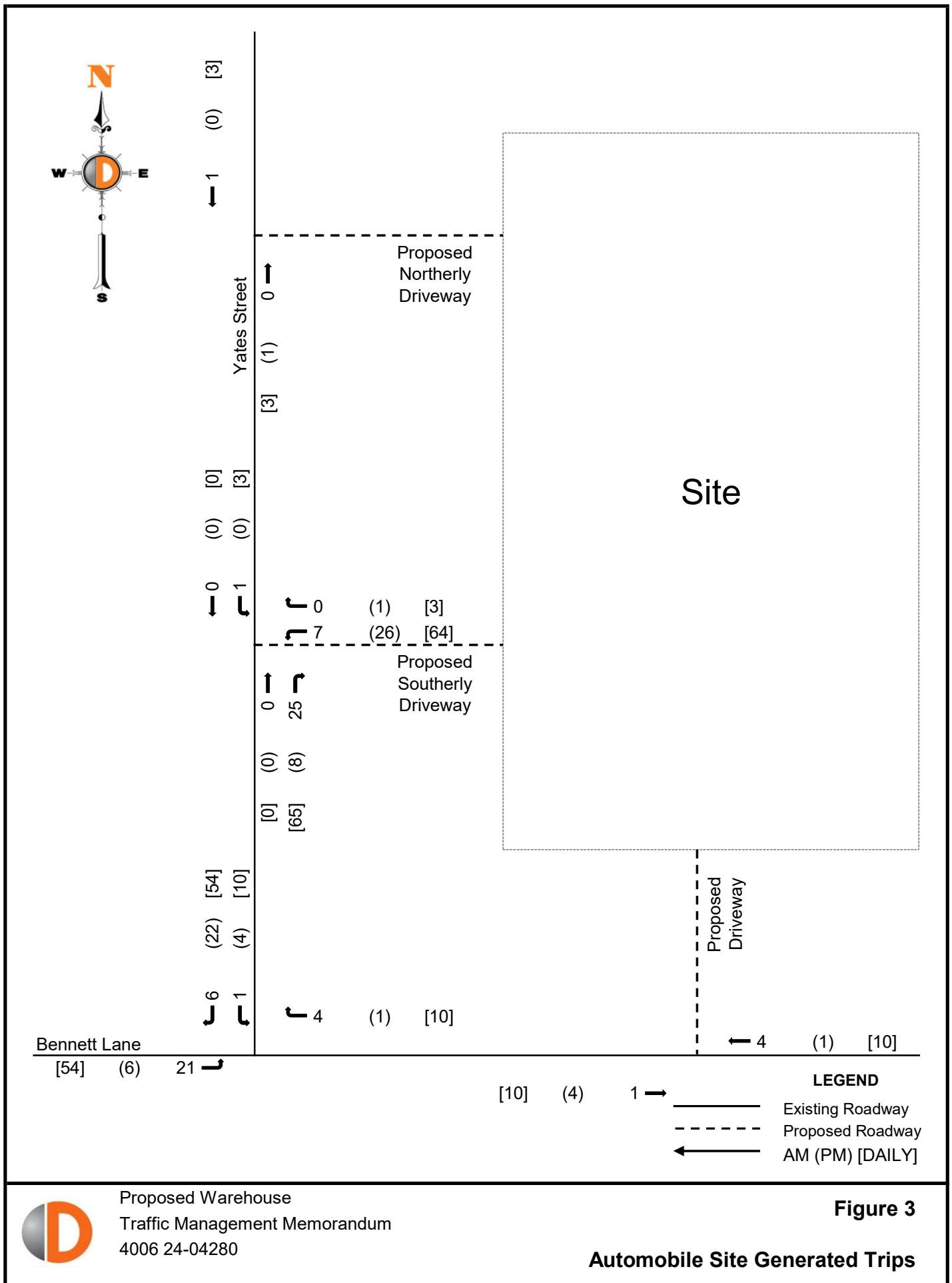


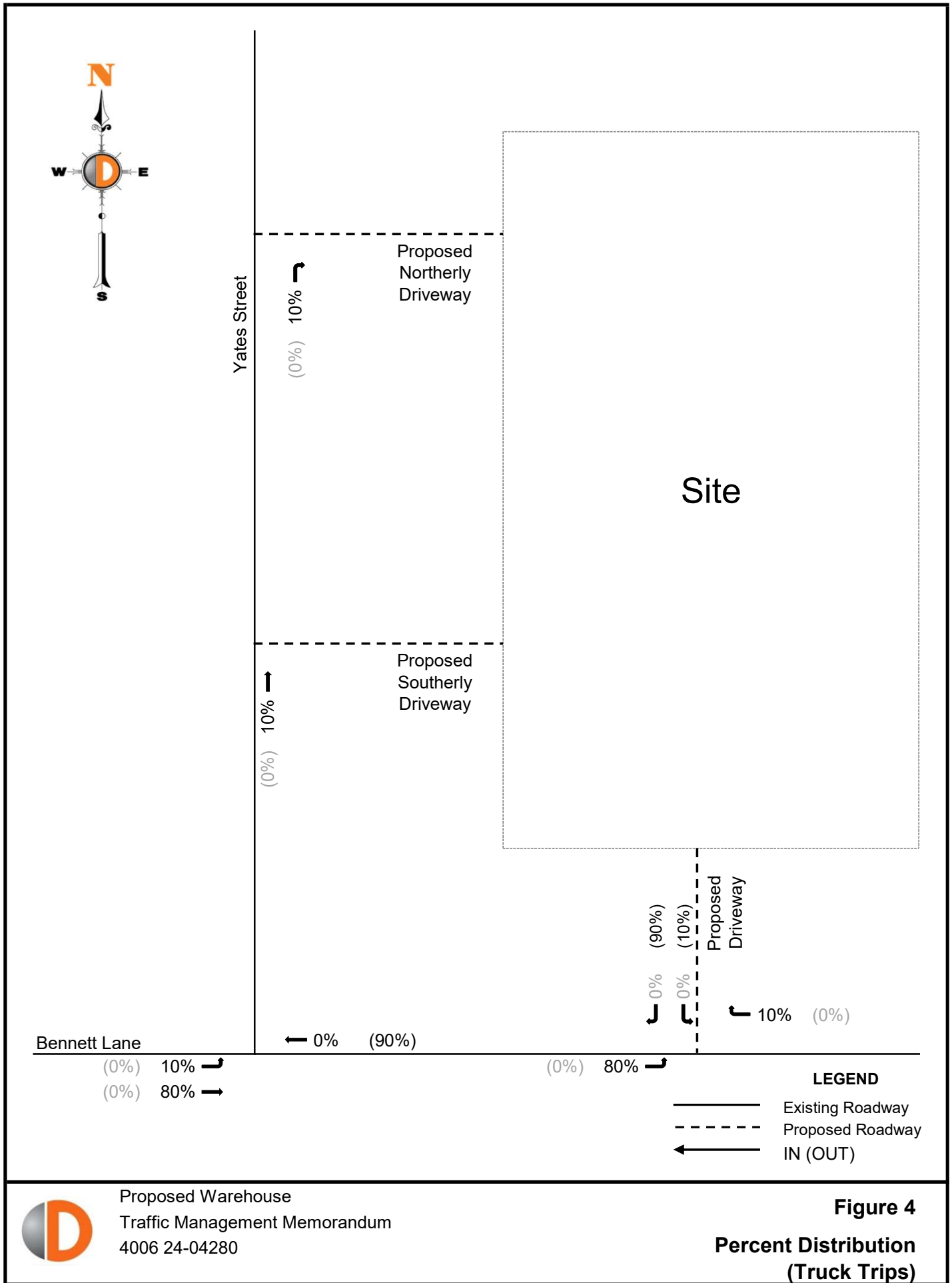
Proposed Warehouse
Traffic Management Memorandum
4006 24-04280

Figure 1

Site Location Map

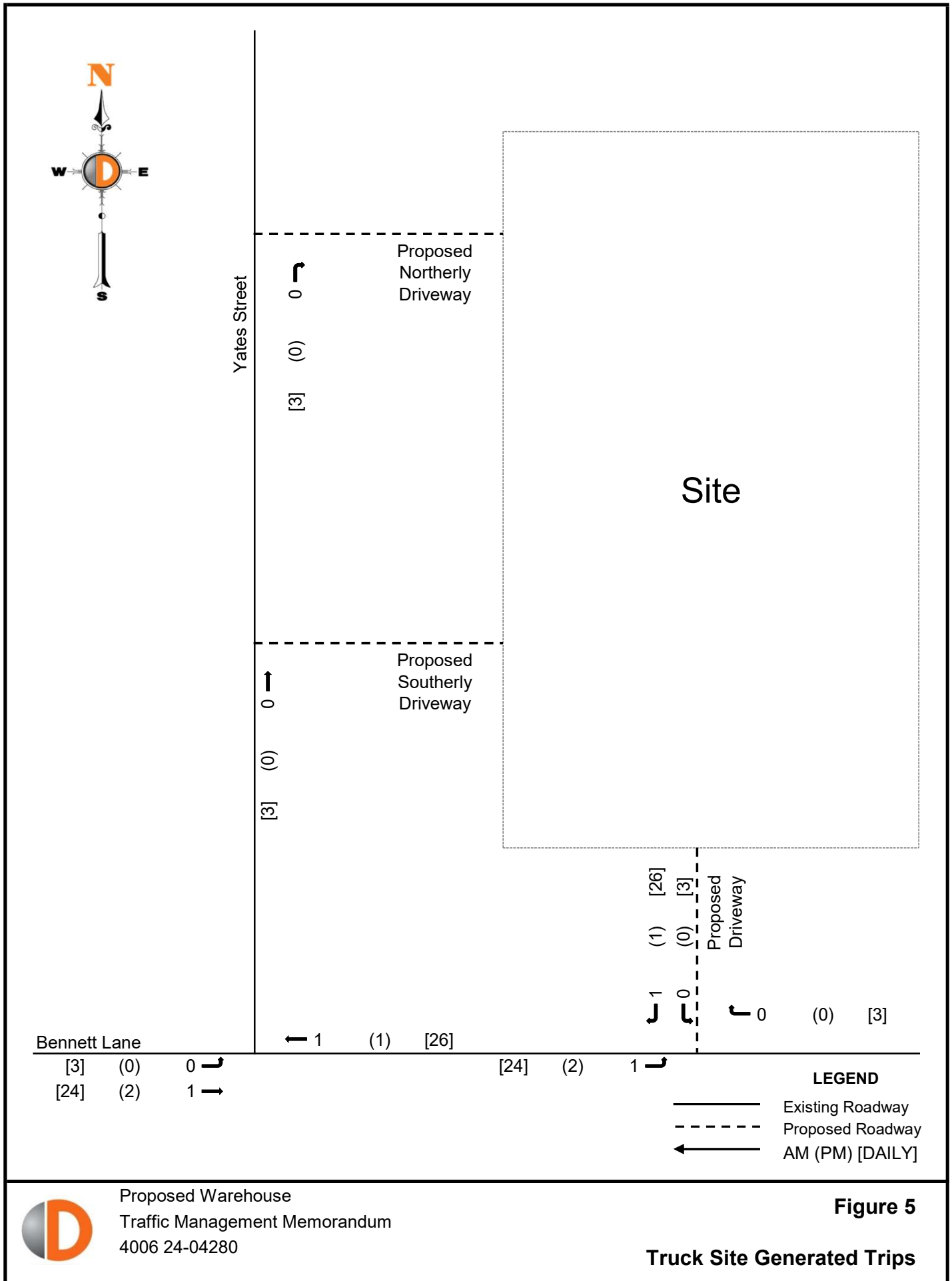






Proposed Warehouse
Traffic Management Memorandum
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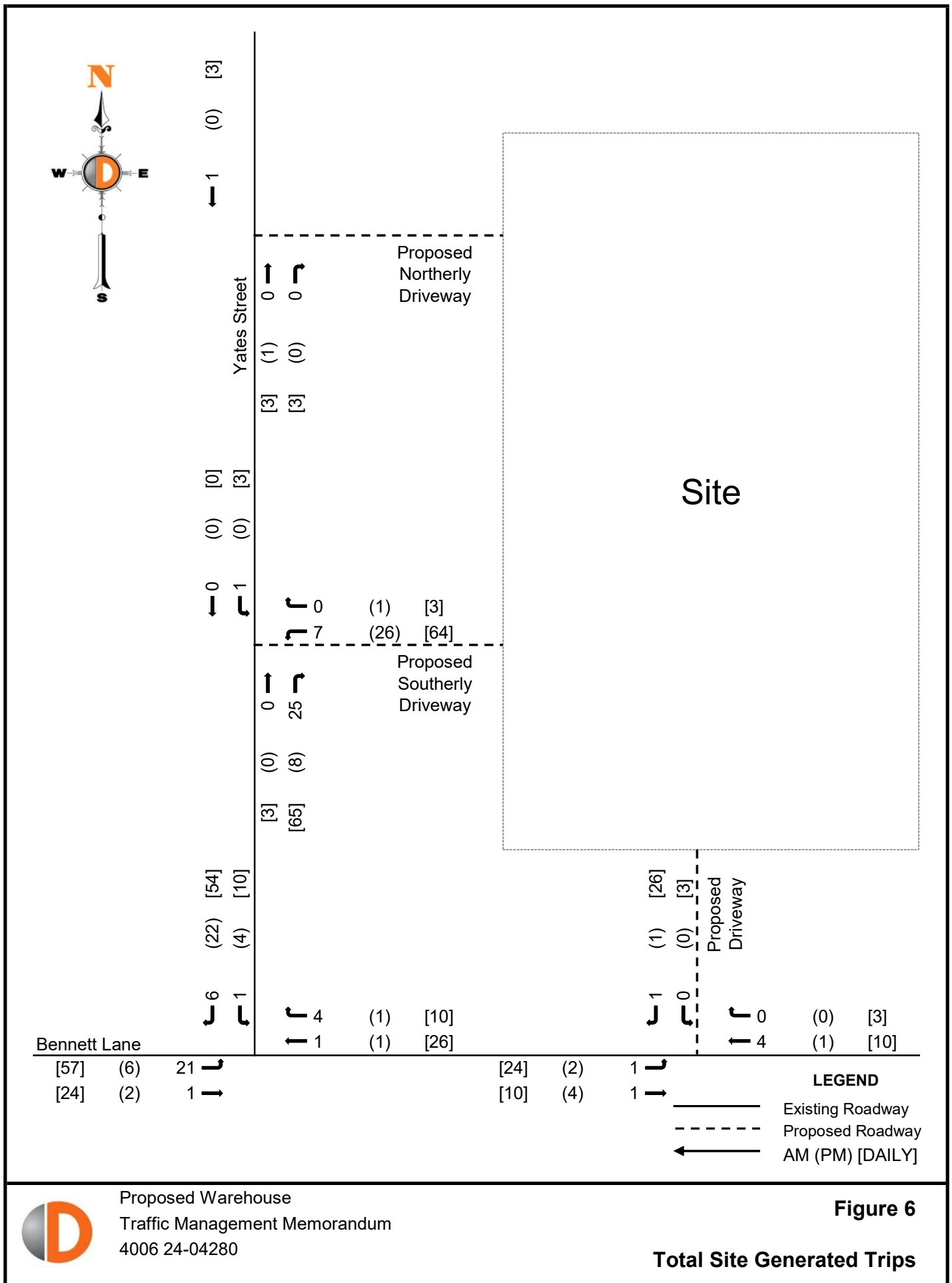
Figure 4
Percent Distribution
(Truck Trips)

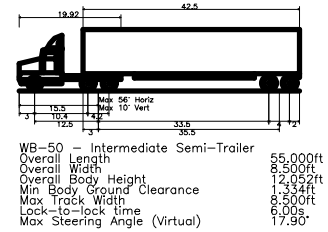
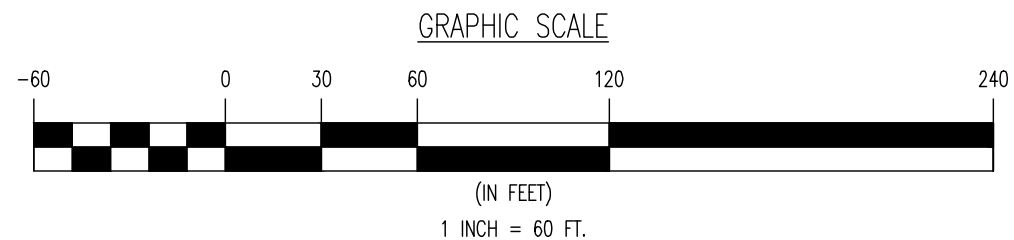
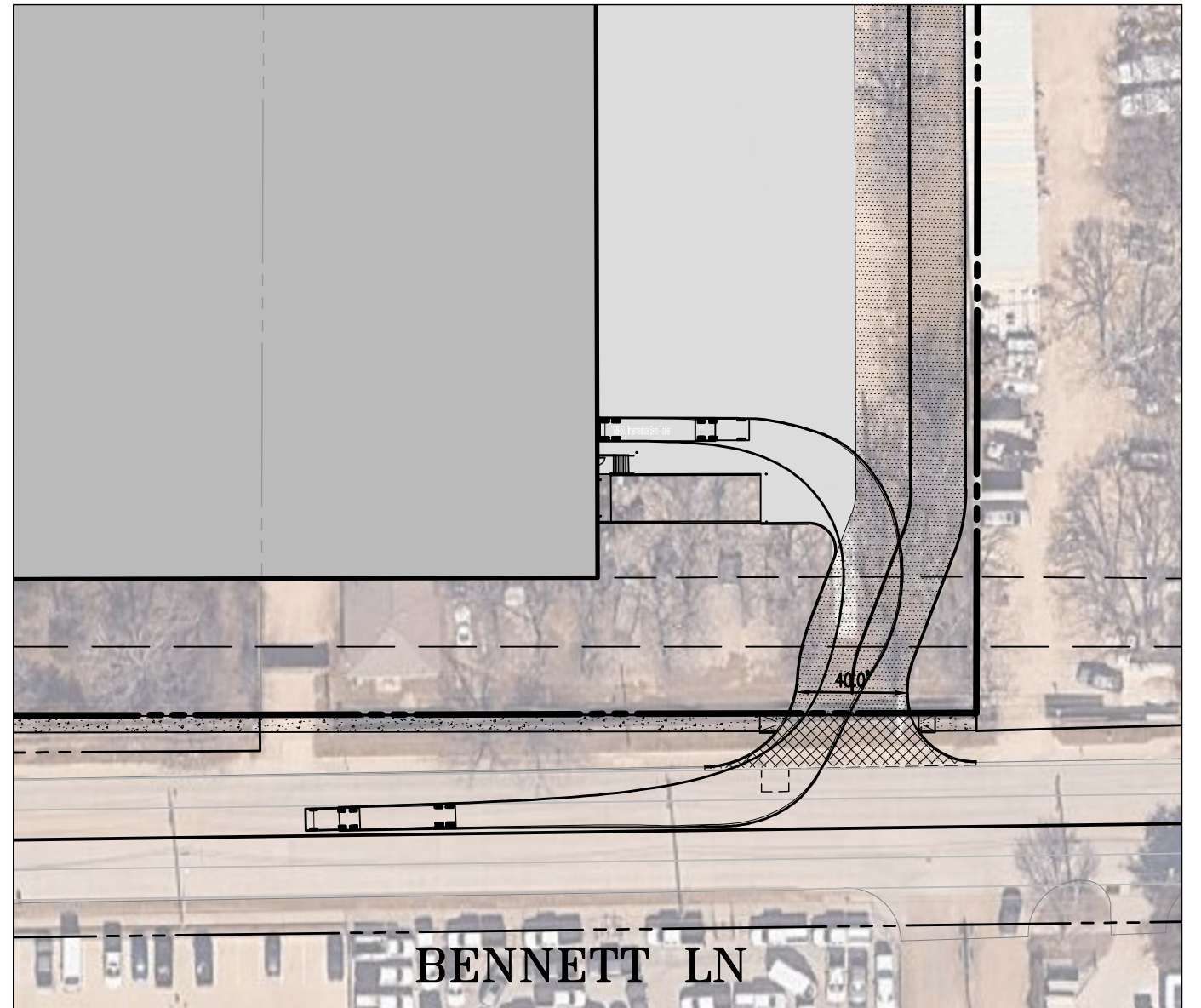
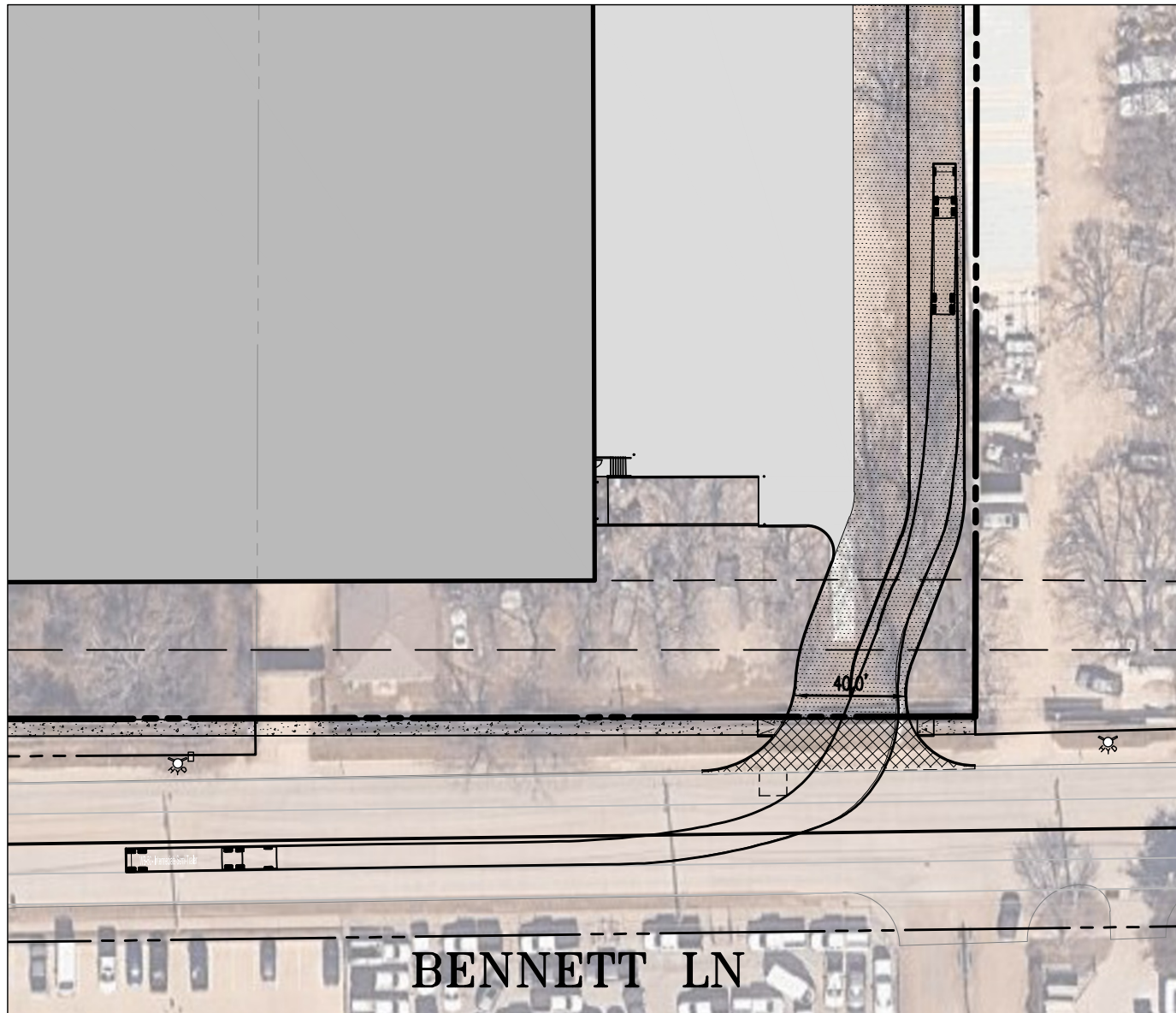


Proposed Warehouse
Traffic Management Memorandum
4006 24-04280

Figure 5

Truck Site Generated Trips





SCALE: (H) 1"=60'
(V)

JOB No:
24-04280

SHEET No:
1
OF 2

DRAWN BY:
JLN
DESIGNED BY:
JLN
CHECKED BY:
JPT
DATE:
05/29/25

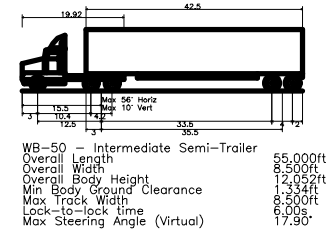
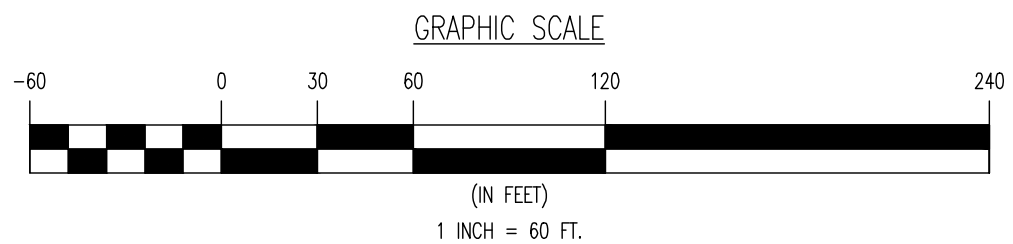
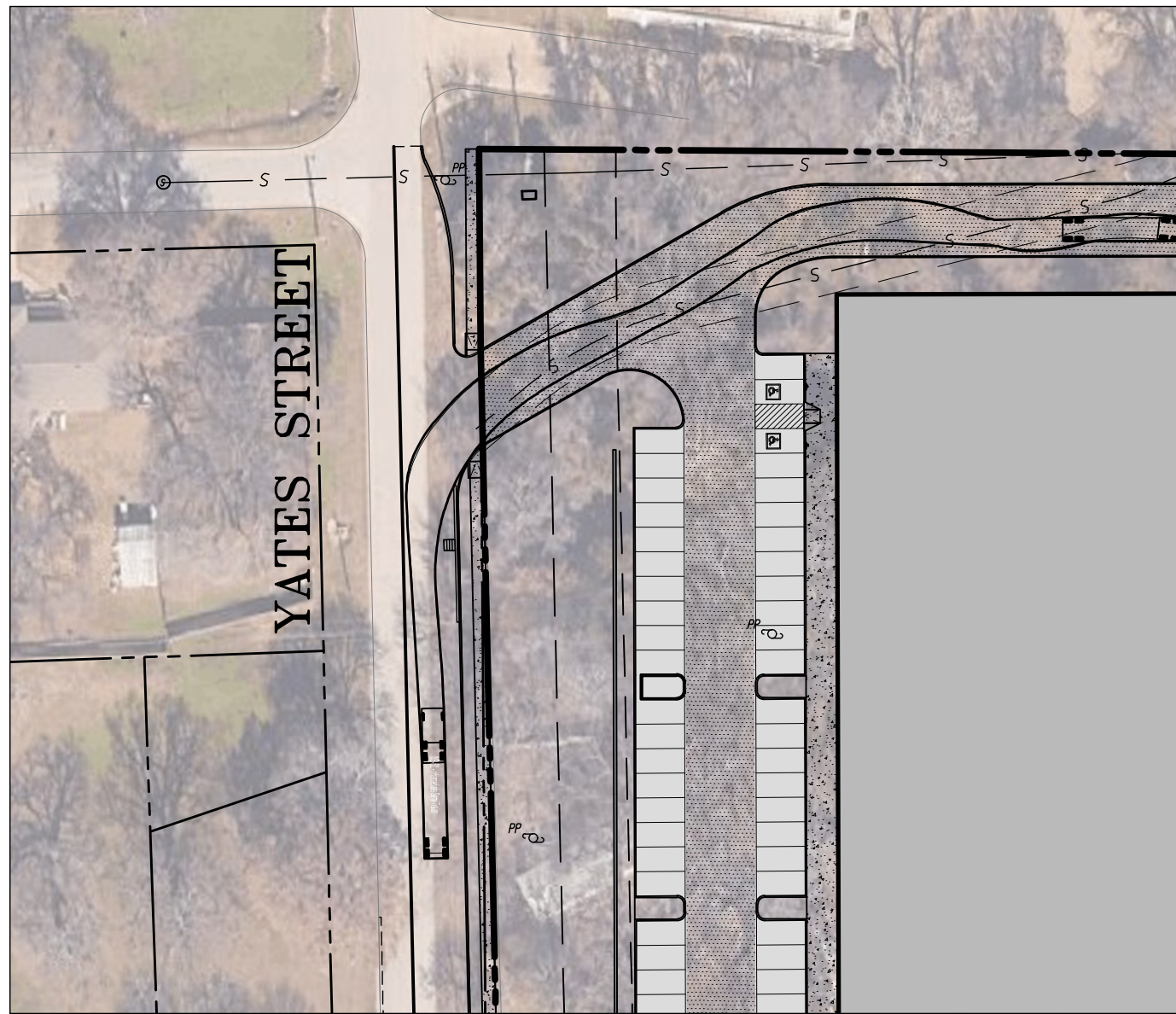
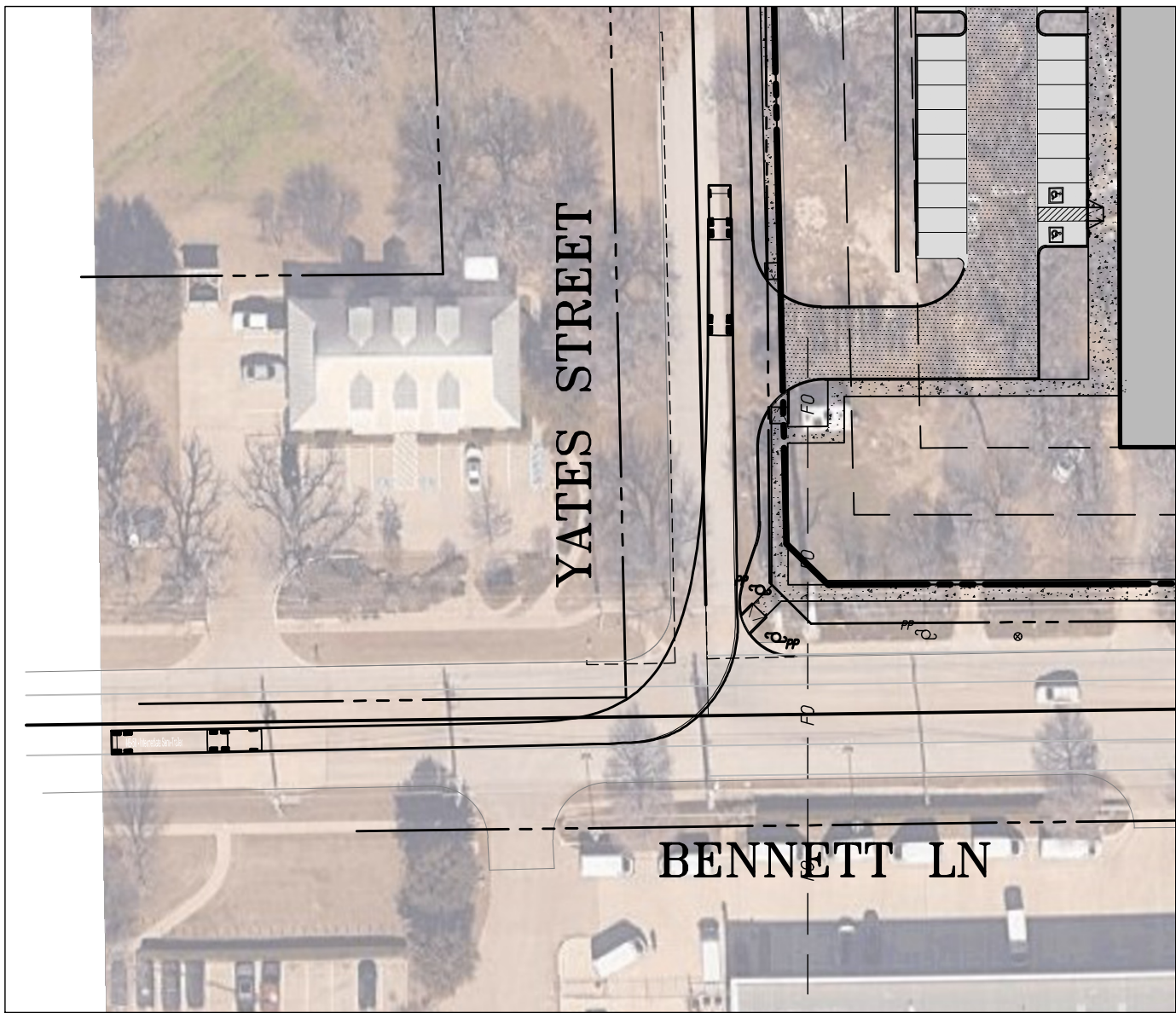
TITLE:
WB-50 TRUCK CIRCULATION EXHIBIT

PROJECT: **LEWISVILLE BENNET 35**
LOVETT INDUSTRIAL
E ADAY SURVEY, ABSTRACT 11, TRACTS 21-25
421 BENNETT LANE
LEWISVILLE, DENTON COUNTY, TEXAS 75057

Rev. # 0 DEC Client Code: 4006



1904 Main Street
Lake Como, NJ 07719
T: 732.681.0760 | F: 732.974.3521
www.dynamictraffic.com
New Jersey Certificate of Authorization No. 122942417



SCALE: (H) 1"=60'
(V)

SHEET No:
2
OF 2

JOB No:
24-04280

DRAWN BY:
JLN

DESIGNED BY:
JLN

CHECKED BY:
JPT

DATE:
05/29/25

TITLE:
WB-50 TRUCK CIRCULATION EXHIBIT

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**DYNAMIC TRAFFIC, LLC**

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Lake Como, NJ 07719

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www.dynamictraffic.com
New Jersey Certificate of Authorization No. 122942417

March 31, 2025


City of Lewisville
151 West Church Street
Lewisville, TX 75057

Attn: Planning Department

RE: Land Owner Consent
Lovett Industrial
NE Corner of Bennett Lane and Yates Street
Lewisville, Denton County, TX

To Whom It May Concern,

I, Eduardo Ortuno, representative of Ortuno Eduardo & Ana, owner of the property located at the Northeast intersection of Bennett Lane and Yates Street and more specifically the property address 421 Bennett Lane Lewisville, Denton County, TX designate Lovett Industrial to act in the capacity as my agent for filing, processing, representation, and/or presentation of this development application. The designated agent shall be the principal contact for responding to all requests for information and for resolving all issues of concern relative to this application.

DocuSigned by:

8D825109160542F...

Owner's Signature

3/31/2025

Date