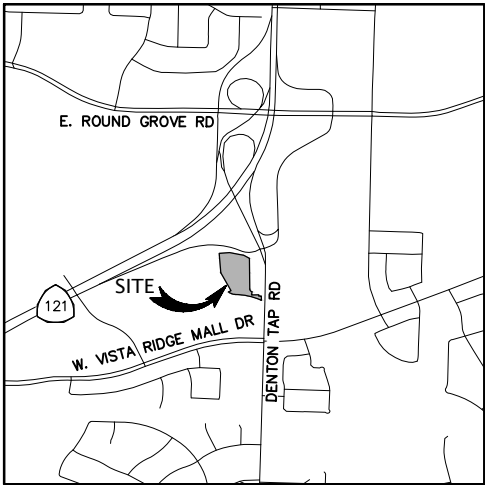
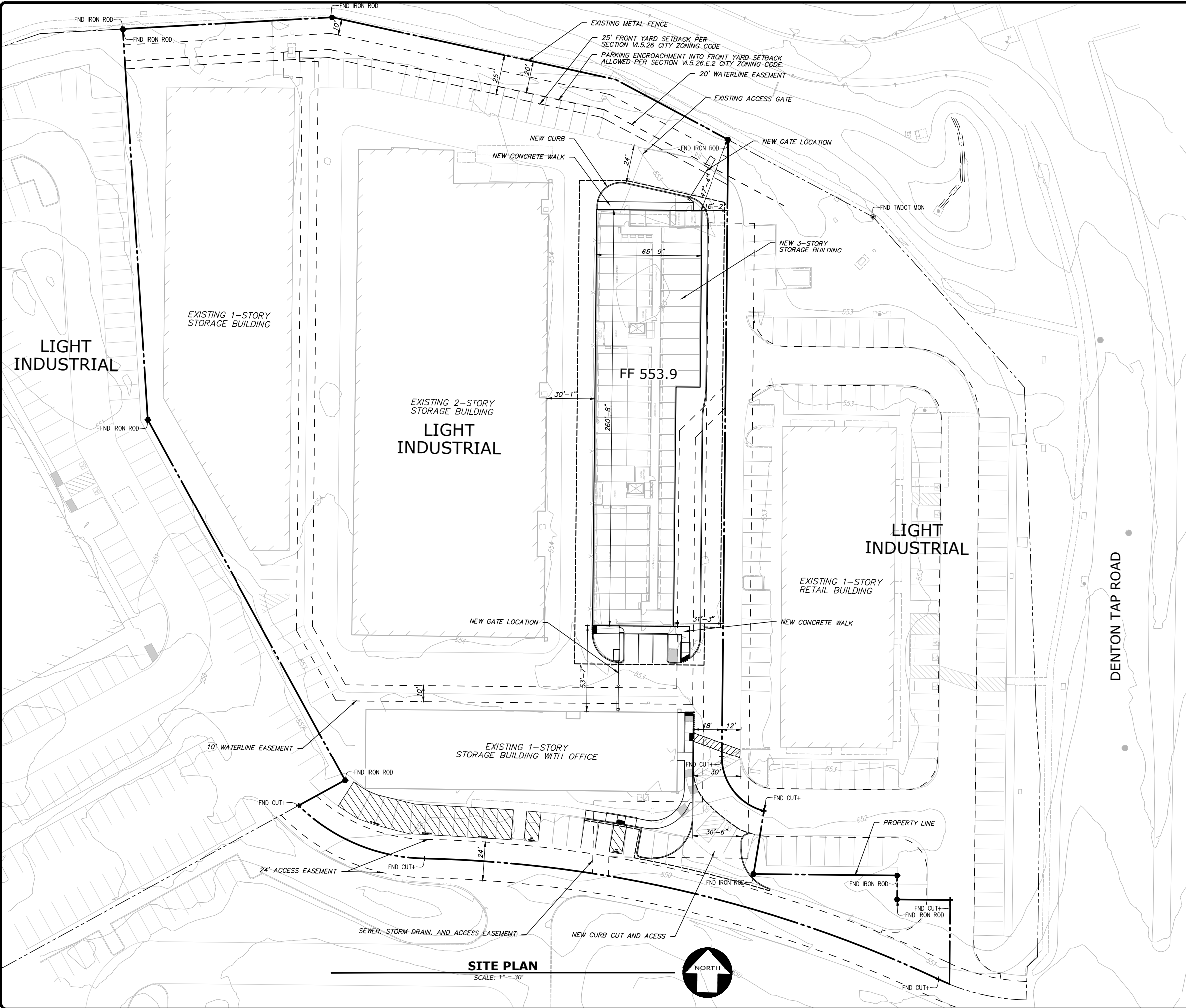


Z:\2024\A24193-1\DWG\TITLE\ELEMENTS\A24193-1_P01.dwg, C:\0 SITE PLAN Plot Friday, April 18, 2025 ALEXE VALKENHOF



VICINITY MAP
SCALE: 1" = 1000'

SHEET INDEX		
NO.	SHEET	DESCRIPTION
1	C1.0	SITE PLAN
2	C2.0	PLAT
3	C2.1	TOPOGRAPHIC SURVEY
4	C3.0	PRELIMINARY GRADING & DRAINAGE PLAN
5	C3.1	PRELIMINARY GRADING DETAILS
6	C4.0	PRELIMINARY UTILITY PLAN
7	C5.0	TREE EXHIBIT
8	A-102	PROPOSED ELEVATIONS
9	LPN-1.0	LANDSCAPE NOTES
10	LP-1.0	PLANTING PLAN-OVERALL
11	LP-1.1	PLANTING PLAN
12	LP-1.2	PLANTING PLAN

OWNER/DEVELOPER
EXTRA SPACE STORAGE
STEWART HANDLEY
2795 E. COTTONWOOD PKWY #300
SALT LAKE CITY, UTAH 84121
(801) 228.8579

CIVIL ENGINEER
KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
ATTN: RACHEL KESSLER
10900 STONELAKE BOULEVARD, SUITE 103
AUSTIN, TX 78759
(512) 564-8914

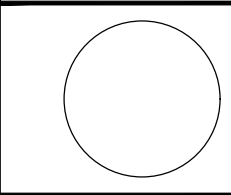
ARCHITECT
DALLENBACK COLE
VIKASH PATEL
315 NINTH STREET - SUITE 1
SAN ANTONIO, TEXAS 78215
(210) 493.2234

SUMMARY TABLE	
PROPOSED USE	SELF SERVICE STORAGE
SUBJECT PARCEL - 3R-2	3.97 AC
EXISTING BUILDING FLOOR AREA	78,476 SF
PROPOSED BUILDING FLOOR AREA	44,458 SF
MAX BUILDING HEIGHT	44'-4"
PERCENTAGE LANDSCAPING (NEW BUILDING)	13%
TOTAL PARKING REQUIRED	35
TOTAL PARKING PROVIDED	39

NO.	REVISIONS	BY

KIER+WRIGHT

10395 Old Placerville Road, Suite 100
Sacramento, CA 95807
Phone: (916) 638-1905
www.kierwright.com



SITE PLAN

SPECIAL USE PERMIT
OF
EXTRA SPACE STORAGE 3436
FOR
EXTRA SPACE
STORAGE

EXTRA SPACE STORAGE 3436 -
NEW BUILDING
HIGH POINT OAKS ADDITION
LOTS 3R-1 & 3R-2, BLOCK C
5.798 ACRES
ZONING: LIGHT INDUSTRIAL
USE: SELF SERVICE STORAGE

DRAWING NUMBER:
C1.0
1 OF 12 SHEETS

LEGEND:
FND - FOUND
ROW - RIGHT-OF-WAY
CM - CONTROL MONUMENT
POB - POINT OF BEGINNING
ASD - ARTHUR SURVEYING COMPANY

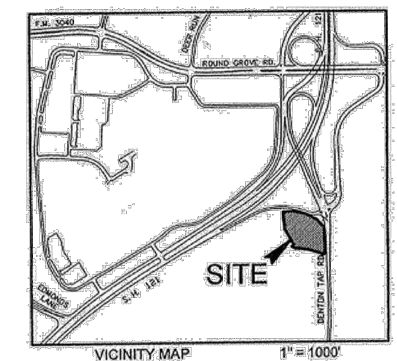
STATE HIGHWAY No. 121
(VARIABLE WIDTH R.O.W.)

LINE	BEARING	LENGTH
A-116	S80°00'00"E	83.01'
A-117	S00°00'12"W	327.57'
A-118	S08°23'30"W	2.84'
A-119	S00°00'00"E	83.00'
A-120	N00°00'12"E	213.00'
A-121	N80°00'00"W	83.01'
A-122	S00°00'00"E	77.00'
A-123	S00°00'12"W	19.06'
A-124	S21°22'14"W	2.27'

LINE	BEARING	LENGTH
E-1	N00°33'12"E	85.34'
E-2	S00°00'00"E	67.91'
E-3	N00°00'00"E	362.84'
E-4	S89°53'51"E	28.00'
E-5	S00°00'00"W	392.75'
E-6	N80°00'00"W	87.25'
E-7	S00°33'12"W	11.92'

LINE	BEARING	LENGTH
W-1	S00°00'00"W	6.34'
W-2	S80°00'00"E	11.84'
W-3	S00°00'00"W	353.62'
W-4	S30°00'00"E	41.97'
W-5	S80°00'00"E	207.41'
W-6	N00°00'00"E	161.23'
W-7	N45°00'00"E	159.83'
W-8	S00°00'00"W	15.68'
W-9	S80°00'00"E	11.84'
W-10	S00°00'00"W	346.30'
W-11	S30°00'00"E	50.42'
W-12	S00°00'00"E	723.19'
W-13	N00°00'00"E	167.11'
W-14	N45°00'00"E	155.21'

CURVE	RADIUS	LENGTH	DELTA	CHD. BRG.	CHORD
A-C1	20.00'	16.96'	48°35'25"	S85°42'17"E	16.46'
A-C2	44.00'	69.12'	90°00'12"	N44°59'54"W	62.23'
A-C3	20.00'	28.20'	80°46'46"	S40°23'11"E	25.92'
A-C4	20.00'	16.96'	48°35'25"	S65°42'17"E	16.46'
A-C5	20.00'	31.42'	90°00'00"	N45°00'00"E	28.20'
A-C6	20.00'	31.42'	90°00'21"	N44°59'59"W	28.20'
A-C7	20.00'	16.96'	48°35'25"	S65°42'17"E	16.46'
A-C8	50.00'	15.23'	17°27'27"	S81°16'16"E	15.18'
A-C9	20.00'	31.42'	90°00'12"	N44°59'54"W	28.22'
A-C10	20.00'	39.16'	112°10'56"	N56°05'40"E	33.20'



State of Texas
County of Denton
That I, W. Thad Murley III, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that the foregoing amended plat of High Point Oaks Addition, on addition to the City of Lewisville, Texas, was submitted to the City of Lewisville on the 23rd day of February, 2008, and such body by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places and water and sewer lines as shown and set forth in and upon said plat, and said body further authorized the acceptance thereof by signing as hereinafter authorized in the capacity stated.

Witness my hand this 23rd day of Feb. 2008.

W. Thad Murley III
Registered Professional Land Surveyor
No. 5802

Rod Russell, Chairman
Planning & Zoning Commission
City of Lewisville, Texas

The undersigned, City Secretary of the City of Lewisville, Texas, hereby certifies that the foregoing amended plat of High Point Oaks Addition, on addition to the City of Lewisville, Texas, was submitted to the City of Lewisville on the 23rd day of February, 2008, and such body by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places and water and sewer lines as shown and set forth in and upon said plat, and said body further authorized the acceptance thereof by signing as hereinafter authorized in the capacity stated.

Witness my hand this 23rd day of Feb. 2008.

Julie Hertz, City Secretary
City of Lewisville, Texas

HOMER ENGINEERING, INC.
CIVIL ENGINEERING/CONSULTING
SITE & LAND PLANNING
972-906-9985
CONTACT: BRECKIN R. HOMER, P.E.

OWNER:
CHARCO PROPERTIES, LP
2415 Marsh Lane, Suite 114
Carrollton, Texas 75006
Phone No: 214.803.8710
Contact: Rick LaFite

LIEN HOLDER:
LEGACY TEXAS BANK
7031 Snider Plaza
Dallas, Texas 75205
Phone No: 972.461.4877
Contact: Rick LaFite

Arthur Surveying Co., Inc.
Professional Land Surveyors
972-221-0439 - Fax 972-221-4675
220 Elm Street, Suite 200 - P.O. Box 34
Lewisville, Texas 75067

State of Texas
County of Denton
Owner's Certificate and Dedication

WHEREAS We, Charco Properties, LP, and Legacy Texas Bank, are the owners of a 5.798 acre tract of land situated in the R. H. Thompson Survey, Abstract No. 1274, in the City of Lewisville, Denton County, Texas, and being all of Lot 3R-1 and 3R-2, Block C, High Point Oaks, on Addition to the City of Lewisville, Denton County, Texas, according to the plat recorded in Cabinet X, Slide 775, Plat Records of Denton County, Texas, and being more particularly described as follows:

BEGINNING on an "X" found in concrete at the southeast corner of the herein described tract, same point being the northeast corner of Lot 2R, Block C, of said Addition, same point being the southeast corner of said Lot 3R-1, same point being in the west line of Denton Tap Road (a variable width, right-of-way) same point being the beginning of a non-tangent curve to the right with a radius of 135.00 feet and whose chord bears North 77 degrees 22 minutes 14 seconds West, a distance of 56.49 feet;

THENCE along the north line of said Lot 2R and the south line of said Lot 3R-1 and continuing with the south line of said Lot 3R-2, the following courses and distances:

With said curve to the right, through a central angle of 24 degrees 08 minutes 28 seconds, an arc length of 56.92 feet to an "X" found in concrete for corner, same point being the beginning of a non-tangent curve to the left with a radius of 800.00 feet and whose chord bears North 77 degrees 23 minutes 42 seconds West, a distance of 330.68 feet;

With said curve to the left, through a central angle of 23 degrees 51 minutes 19 seconds, an arc length of 333.08 feet to an "X" found in concrete for corner, same point being the beginning of a non-tangent curve to the right with a radius of 115.50 feet and whose chord bears North 67 degrees 44 minutes 40 seconds West, a distance of 95.31 feet;

With said curve to the right, through a central angle of 43 degrees 20 minutes 40 seconds East, an arc length of 87.38 feet to an "X" found for corner at the northernmost corner of said Lot 2R, same point being in the southeast line of Lot 1R8, Block C of said Addition;

THENCE along the southeast and easterly line of said Lot 1R8 and along the westerly line of said Lot 3R-2, the following courses and distances:

North 60 degrees 43 minutes 27 seconds East, a distance of 33.07 feet to a 1/2 inch iron rod with cap marked "Pacheco Koch" found for corner;

North 29 degrees 16 minutes 33 seconds West, a distance of 257.46 feet to a 1/2 inch iron rod with cap marked "Pacheco Koch" found for corner;

North 04 degrees 14 minutes 23 seconds West, a distance of 244.98 feet to a 1/2 inch iron rod with yellow cap marked "Arthur Surveying Company" set for corner at the common north corner of said Lot 1R8 and Lot 3R-2, same point being in the south line of U.S. Highway No. 121 (a variable width right-of-way), same point from which a 1/2 inch iron rod with cap marked "Pacheco Koch" found bears South 04 degrees 14 minutes 23 seconds East, a distance of 0.42 feet;

THENCE along the southerly line of said U.S. Highway No. 121 and the north line of said Lot 3R-2, the following courses and distances:

North 86 degrees 13 minutes 39 seconds East, a distance of 131.41 feet to a Texas Department of Transportation highway monument (TXDOT mon.) found for corner;

South 78 degrees 14 minutes 13 seconds East, a distance of 181.57 feet to a TXDOT mon. found for corner;

South 62 degrees 32 minutes 20 seconds East, a distance of 182.65 feet to a TXDOT mon. found for corner;

South 42 degrees 13 minutes 57 seconds East, a distance of 142.81 feet to a TXDOT mon. found for corner, same point being in the west line of said Denton Tap Road;

THENCE along the west line of said Denton Tap Road and the east line of said Lot 3R-1, the following courses and distances:

South 02 degrees 39 minutes 25 seconds East, a distance of 198.75 feet to a TXDOT mon. found for corner;

South 04 degrees 05 minutes 21 seconds East, a distance of 42.80 feet to a 1/2 inch iron rod with cap marked "Pacheco Koch" found for corner;

South 00 degrees 13 minutes 00 seconds West, a distance of 114.37 feet to an "X" found in concrete for corner;

South 46 degrees 29 minutes 49 seconds West, a distance of 8.76 feet to a 1/2 inch iron rod with yellow cap marked "Arthur Surveying Company" set for corner;

South 01 degrees 29 minutes 49 seconds West, a distance of 20.91 feet to the POINT OF BEGINNING and containing a total of 252.567 square feet or 5.798 acres of land more or less.

NOW, know all men by these presents:

THAT WE, Charco Properties, LP and Legacy Texas Bank, the undersigned authority, does hereby adopt this plat designating the herein described property as High Point Oaks Addition, Lots 3R-1 and 3R-2, Block C, on addition to the City of Lewisville, Denton County, Texas, and does hereby dedicate to the public use forever the streets and alleys shown hereon; and does hereby dedicate the easements strips shown on the plat for mutual use and accommodation of the City of Lewisville and all public utilities desiring to use, or using same. No buildings, fences, trees, shrubs, signs or other improvements or other structures in any way encroaching or interfering with the construction, maintenance, efficiency of its respective system on any of these easements strips, and the City of Lewisville and all public utility shall at all times have the right of ingress and egress to and from and upon any of said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or part of its respective system without the necessity of any time of procuring the permission of anyone. A blanket easement of a five (5) foot radius from the center point of all fire hydrants and a five (5) foot radius from the center point of all other appurtenances (fire hydrant valves, water meters, meter boxes, street lights) is hereby granted to the City of Lewisville for the purpose of constructing, reconstructing, inspecting and maintaining the above named appurtenances.

We do further dedicate, subject to the exceptions and reservations set forth hereinafter, to the public use forever, all public use spaces shown on the face of the plat.

All lots in the subdivision shall be sold and developed subject to the building lines shown on the plat.

State of Texas
County of Denton
BEFORE ME, the undersigned authority, on this day personally appeared R. O'Neal Gray, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated, and as the act and deed of said limited liability company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the 31st day of January, 2008.

BEFORE ME, the undersigned authority, on this day personally appeared Rick LaFite, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated, and as the act and deed of said limited liability company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the 31st day of January, 2008.

State of Texas
County of Denton
BEFORE ME, the undersigned authority, on this day personally appeared Rick LaFite, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated, and as the act and deed of said limited liability company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the 31st day of January, 2008.

AMENDED FINAL PLAT

This plat is amending High Point Oaks Addition Final Plat, which was filed on June 12, 2007 and can be found in Cabinet X, Page 775 of the Denton County Plat Records with the following changes:

1. Adjusting internal lot line between Lots 3R-1 & 3R-2
2. Adjusting 25' setback along Denton Tap Road to match r.o.w.

High Point Oaks Addition
Lots 3R-1 & 3R-2 Block C
5.798 Acres
Zoning: LI
R.H. Thompson Survey, Abst. No. 1274
JANUARY 2008

DRAWN BY: J.C. DATE: 12/03/07 SCALE: 1"=40' CHECKED BY: V.T.M. ASD NO.: 261273-3

AUDREY MARIE TURNER
NOTARY PUBLIC
STATE OF TEXAS
MY COMM. EXP. 10/07/2009

V. JEAN EVANS
NOTARY PUBLIC STATE OF TEXAS
COMMISSION EXPIRES: MARCH 7, 2010

FILED
CAB. Y PG. 197 P.R.D.C.T.

525683 Highpoint Oaks BLK C Lot 3R2/PA

525682 Highpoint Oaks BLK C Lot 3R1

524091A G01, S09, C12

Filed for Record in:
Denton County

On: Feb 20, 2008 at 09:06A

As a
Plat

Document Number: 17309

Amount: 43.00

Receipt Number: 459879
By: Jane Morris

BY _____

REVISIONS

NO. _____

PLAT

SPECIAL USE PERMIT
OF
EXTRA SPACE STORAGE 3436
FOR
EXTRA SPACE
STORAGE

EXTRA SPACE STORAGE 3436 -
NEW BUILDING
HIGH POINT OAKS ADDITION
LOTS 3R-1 & 3R-2, BLOCK C
5.798 ACRES
ZONING: LIGHT INDUSTRIAL
USE: SELF SERVICE STORAGE

DRAWING NUMBER:
C2.0
2 OF 12 SHEETS

KIER + WRIGHT PROJECT NUMBER: A24193-1

Phone: (916) 638-1905
www.kierwright.com
10395 Old Placerville Road, Suite 100
Sacramento, CA 95827

DRAFT

PREPARED BY OR UNDER THE SUPERVISION OF
MAHSA ALLAHYARI P.L.S. 6910
MALLAHYARI@KIER+WRIGHT.COM

DATE



0 15 30 60 90

Scale 1" = 30'

LEGEND

	BUILDING LINE
	CONCRETE CURB
	CONCRETE CURB & GUTTER
	CONTOUR LINE-MAJOR
	CONTOUR LINE-MINOR
	EASEMENT LINE
	FENCE LINE
	LOT LINE
	MONUMENT/MONUMENT LINE
	PROPERTY LINE
	SANITARY SEWER LINE-MANHOLE & CLEANOUT
	SPOT ELEVATION
	STORM DRAIN LINE-MANHOLE & CATCH BASIN
	STORM DRAIN LINE-MANHOLE & CATCH BASIN
	STORM DRAIN LINE OVER 24\"/>
	WATER LINE & VALVE
	FOUND/SET CROSS
	ELECTROLIER
	FIRE HYDRANT
	IRON ROD FOUND
	TRANSFORMER
	TRAFFIC SIGN
	TREE
	UTILITY BOX
	WATER VALVE

ABBREVIATIONS

AC	AIR CONDITION UNIT	MB	MAIL BOX
BC	BACK OF CURB	MON	MONUMENT
BL	BUILDING LINE	N	NORTH
BOL	BOLLARD	NW	NORTH WEST
BX	BOX	RE	RIM ELEVATION
CAB.	CABINET	S	SOUTH
CLMN	COLUMN	SDM	STORM DRAIN MANHOLE
COMM	COMMUNICATION	SE	SOUTH EAST
E	EAST	SL	SLIDE
ESMT	EASEMENT	SSM	SANITARY SEWER MANHOLE
FC	FACE OF CURB	TPD	TELEPHONE PEDISTAL
FF	FINISH FLOOR	TR	TOP OF RAMP
FND	FOUND	T	TRANSFORMER
IB	IRRIGATION BOX	W	WEST
ICV	IRRIGATION CONTROL VALVE	WM	WATER METER
IE	INVERT ELEVATION		

NOTES

- THE BOUNDARY, EASEMENT, AND OTHER ENCUMBRANCES SHOWN ON THIS DRAWING ARE BASED SOLELY ON INFORMATION CONTAINED IN THE FOLLOWING DOCUMENTS: AN AMENDED FINAL PLAT 459879 FILED FEBRUARY 20, 2008
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- THIS SURVEY DOES NOT SHOW THE LOCATIONS OF THE FOLLOWING UNDERGROUND UTILITY LINES DUE TO THE FACT THAT THE CLIENT HAS NOT FURNISHED KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. WITH ANY PLANS THAT DELINEATE THEIR LOCATIONS: ELECTRIC LINES, GAS LINES, WATER LINES, TELEPHONE LINES, CABLE TELEVISION LINES, NITROGEN LINES, (IF ANY) FIBER OPTIC LINES (IF ANY). ALL PARTIES SHOULD CONSIDER THIS SURVEY AS PRELIMINARY WITH REGARDS TO THE LOCATION OF THE UTILITY FACILITIES. UPON RECEIPT OF THIS INFORMATION KIER & WRIGHT WILL UPDATE THIS SURVEY AND REISSUE IT.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR DENTON COUNTY, TEXAS, MAP NUMBER 48121C07056 FOR COMMUNITY NUMBER 480195 0705 G (CITY OF LEWISVILLE), WITH AN EFFECTIVE DATE OF APRIL 18, 2011, AS BEING LOCATED IN FLOOD ZONE "X" (UNSHADED).
INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE, ON JANUARY 10, 2025.
- BENCHMARK:
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88, ESTABLISHED BY RTK NETWORK.
BM-61: "X" SET ON CURB IN THE WEST SIDE OF DENTON TAP ROAD, APPROXIMATELY 614.4' FROM THE INTERSECTION OF DENTON TAP ROAD AND VISTA RIDGE MALL DRIVE. ELEVATION = 551.34'
- BASIS OF BEARINGS:
TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, NORTH CENTRAL ZONE, US FOOT (TX83-NCF).
- CORNER RECORD NOTE:
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.
- THIS MAP HAD PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1'-FOOT AND A MAP SCALE OF 1"=40'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGRAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A24193-1. DATE OF PHOTOGRAPHY 11-20-2024.

EXTRA SPACE STORAGE 3436 -
NEW BUILDING
HIGH POINT OAKS ADDITION
LOTS 3R-1 & 3R-2, BLOCK C
5.798 ACRES
ZONING: LIGHT INDUSTRIAL
USE: SELF SERVICE STORAGE

DRAWING NUMBER:

C2.1

2 OF 12 SHEETS

KIER + WRIGHT PROJECT NUMBER: A24193-1

NO. REVISIONS BY

KIER+WRIGHT



TOPOGRAPHIC SURVEY

SPECIAL USE PERMIT
OF
EXTRA SPACE STORAGE 3436
FOR
EXTRA SPACE
STORAGE

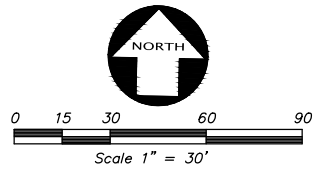
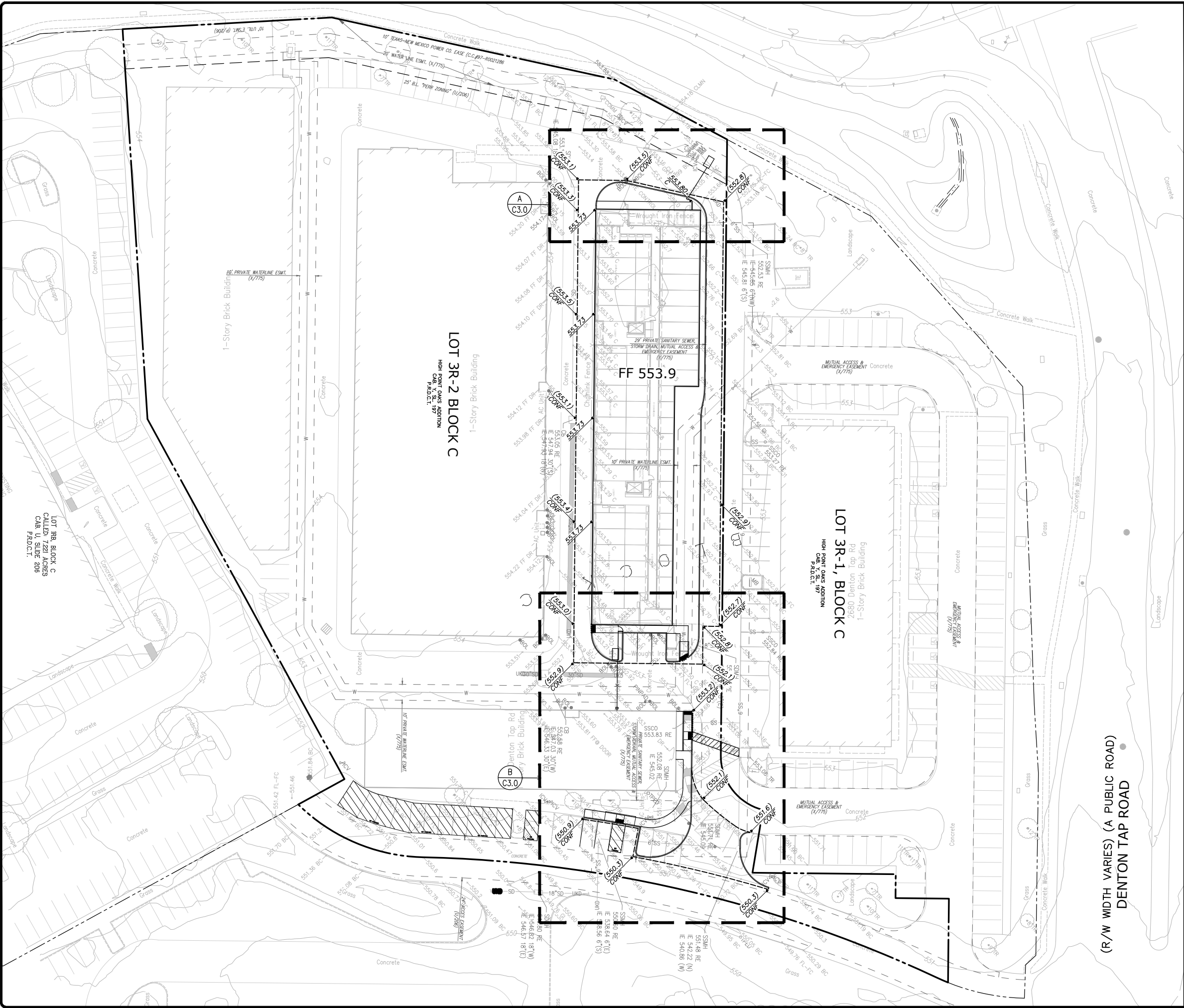
EXTRA SPACE STORAGE 3436 -
NEW BUILDING
HIGH POINT OAKS ADDITION
LOTS 3R-1 & 3R-2, BLOCK C
5.798 ACRES
ZONING: LIGHT INDUSTRIAL
USE: SELF SERVICE STORAGE

DRAWING NUMBER:

C2.1

2 OF 12 SHEETS

Z:\2024\A24193-1\DWG\TITLEMENTS\A24193-1-PC-CP.dwg (C3.0 PRELIMINARY GRADING & DRAINAGE PLAN) Plot Friday, April 19, 2025 ALENE VALKENHOFF



GRADING AND DRAINAGE LEGEND

PROPOSED	EXISTING	DESCRIPTION
		CONTOUR LINE
		LOT LINE
		SPOT ELEVATION
		STORM DRAIN - MANHOLE AND CATCH BASIN
		THRU CURB DRAIN
		AREA DRAIN
		BUILDING
		BACK OF WALK
		CONCRETE
		CATCH BASIN
		DUCTILE IRON PIPE
		FACE OF CURB
		FINISHED FLOOR
		GRADE BREAK
		HIGH POINT
		INVERT ELEVATION
		LOW POINT
		NON EXPANSIVE FILL
		OVERFLOW
		PAVEMENT
		RIDGE
		RIM ELEVATION
		STORM DRAIN JUNCTION BOX
		STORM DRAIN MANHOLE
		TOP OF CURB



Know what's below.
Call before you dig.

NO.	REVISIONS	BY

**KIER+WRIGHT**

Phone: (916) 638-1905
www.kierwright.com
10395 Old Placerville Road, Suite 100
Sacramento, CA 95807

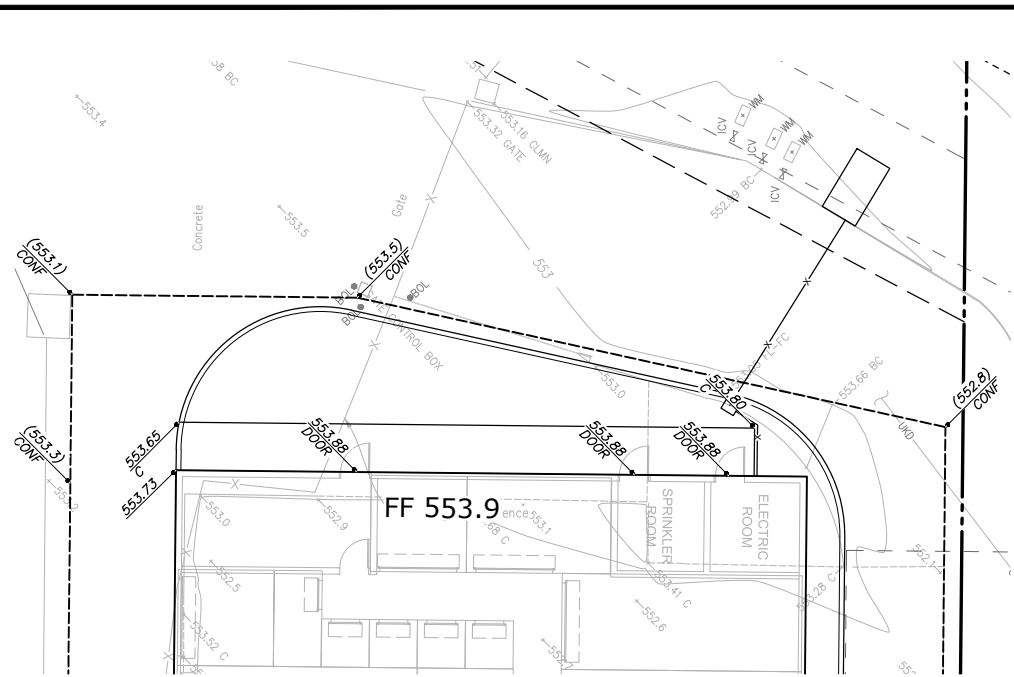
PRELIMINARY GRADING &
DRAINAGE PLAN

SPECIAL USE PERMIT
OF
EXTRA SPACE STORAGE 3436
FOR
EXTRA SPACE
STORAGE

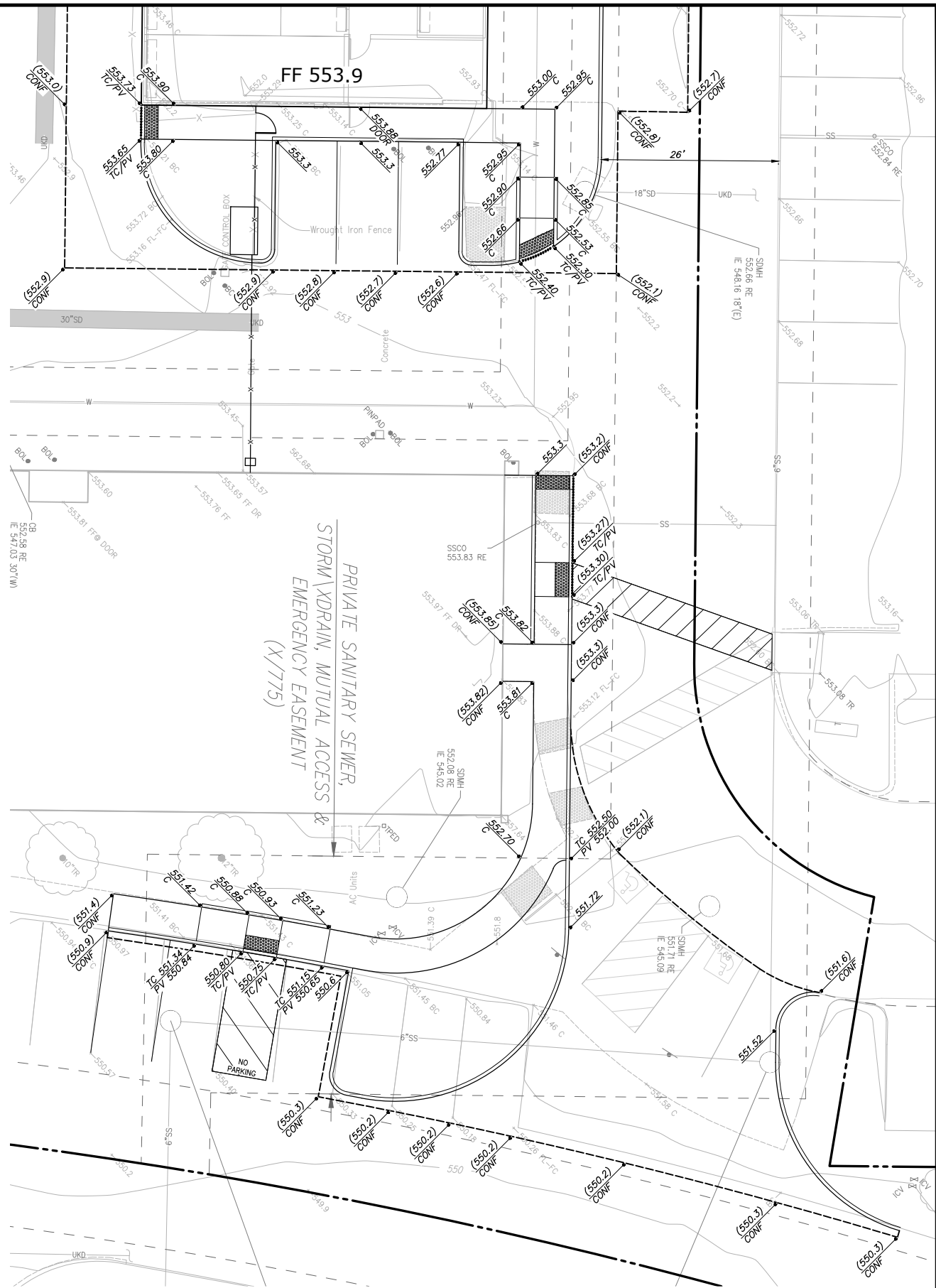
EXTRA SPACE STORAGE 3436 -
NEW BUILDING
HIGH POINT OAKS ADDITION
LOTS 3R-1 & 3R-2, BLOCK C
5.798 ACRES
ZONING: LIGHT INDUSTRIAL
USE: SELF SERVICE STORAGE

DRAWING NUMBER:
C3.0
3 OF 12 SHEETS

Z:\2024\A24193-1\DWG\TITLE\ELEMENTS\A24193-1-PC-02.dwg [C:\31 PRELIMINARY GRADING DETAILS] PLOT Friday, April 18, 2025 ALEXE VALKENHOFF



GRADING DETAIL A



GRADING DETAIL B




0 15 30 60 90
Scale 1" = 30'

GRADING AND DRAINAGE LEGEND

PROPOSED	EXISTING	DESCRIPTION
		CONTOUR LINE
		SPOT ELEVATION
		STORM DRAIN - MANHOLE AND CATCH BASIN
		THRU CURB DRAIN
		AREA DRAIN
		BUILDING
		BACK OF WALK
		CONCRETE
		CATCH BASIN
		DUCTILE IRON PIPE
		FACE OF CURB
		FINISHED FLOOR
		GRADE BREAK
		HIGH POINT
		INVERT ELEVATION
		LOW POINT
		NON EXPANSIVE FILL
		OVERFLOW
		PAVEMENT
		RIDGE
		RIM ELEVATION
		STORM DRAIN JUNCTION BOX
		STORM DRAIN MANHOLE
		TOP OF CURB

NO.	REVISIONS	BY

 KIER+WRIGHT

Phone: (916) 638-1905
www.kierwright.com
10395 Old Placerville Road, Suite 100
Sacramento, CA 95807

PRELIMINARY GRADING DETAILS

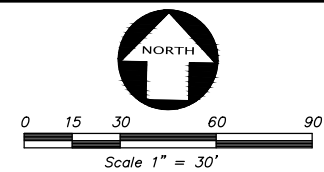
SPECIAL USE PERMIT
OF
EXTRA SPACE STORAGE 3436
FOR
EXTRA SPACE
STORAGE



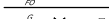



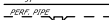





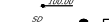



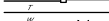








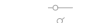




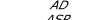

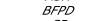



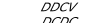

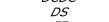

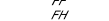

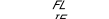

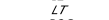

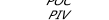



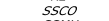

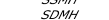

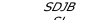

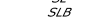

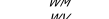



































EXTRA SPACE STORAGE 3436 -
NEW BUILDING
HIGH POINT OAKS ADDITION
LOTS 3R-1 & 3R-2, BLOCK C
5.798 ACRES
ZONING: LIGHT INDUSTRIAL
USE: SELF SERVICE STORAGE

DRAWING NUMBER:
C3.1
4 OF 12 SHEETS



Know what's below.
Call before you dig.



PROPOSED		EXISTING		DESCRIPTION	
	ES		ES	ELECTRIC LINE	FIRE SERVICE & VALVE
	FO		FO	FIBER OPTICS LINE	
	G		G	GAS LINE-VALVE & METER	
	OW		OW	OVERHEAD POWER LINE	
	JT		JT	JOINT TRENCH LINE	
	PERF. PIPE		PERF. PIPE	PERFORATED STORM DRAIN PIPE	
	SS		SS	PROPERTY LINE	
	1000.00		1000.00	SANITARY SEWER - MANHOLE AND CLEANOUT	
	SD		SD	SPOT ELEVATION	
	7		7	STORM DRAIN - MANHOLE AND CATCH BASIN	
	10		10	THRU CURB DRAIN	
	OHIO		OHIO	TELEPHONE LINE	
	1000.00		1000.00	WATER LINE & VALVE	
	AD		AD	BACKFLOW PREVENTION DEVICE	
	ASR		ASR	ELECTROLINER	
	BFPD		BFPD	WALK-BOLLARD LIGHT	
	CB		CB	FIRE HYDRANT	
	COTG		COTG	POWER INDICATOR VALVE	
	DCVC		DCVC	POST POLE/JOINT POLE	
	DS		DS	TRANSFORMER	
	FF		FF	TRAFFIC SIGN	
	FH		FH	UTILITY BOX	
	FL		FL	AREA DRAIN	
	FW		FW	AUTOMATIC SPRINKLER RISER	
	LT		LT	BACKFLOW PREVENTION DEVICE	
	POC		POC	CATCH BASIN	
	PW		PW	CLEANOUT TO GRADE	
	RWL		RWL	DOUBLE DETECTOR CHECK VALVE	
	RE		RE	DOUBLE CHECK DETECTOR CHECK	
	SSCO		SSCO	DOWN SPOUT	
	SSMH		SSMH	FINISHED FLOOR	
	SDMH		SDMH	FIRE HYDRANT	
	SL		SL	FLOW LINE	
	SLB		SLB	INVERT ELEVATION	
	WM		WM	LIGHT	
	WV		WV	POINT OF CONNECTION	
				POST INDICATOR VALVE	
				RAIN WATER LEADER	
				RIM ELEVATION	
				SANITARY SEWER CLEANOUT	
				SANITARY SEWER MANHOLE	
				STORM DRAIN MANHOLE	
				STORM DRAIN JUNCTION BOX	
				STREET LIGHT	
				STREET LIGHT BOX	
				WATER METER	
				WATER VALVE	

(R/W WIDTH VARIES) (A PUBLIC ROAD)
DENTON TAP ROAD



Know what's below.
Call before you dig.

[illegible]

10395 Old Placerville Road, Suite 100
Phone: (916) 538-1905

10395 Old Placerville Road, Suite 100

PRELIMINARY UTILITY PLAN

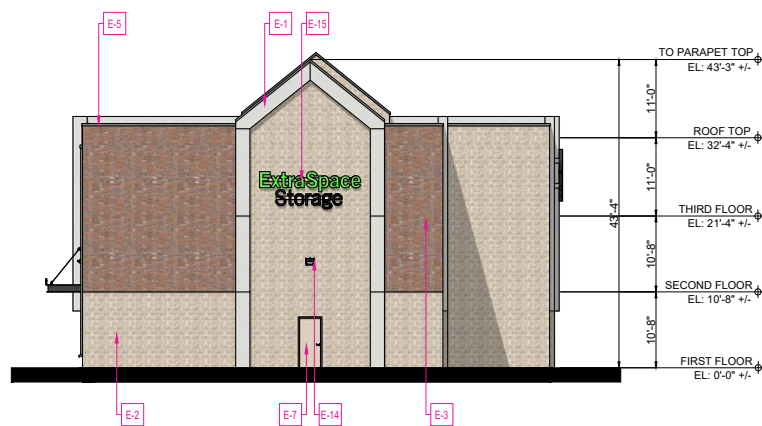
SPECIAL USE PERMIT
OF
EXTRA SPACE STORAGE 3436
FOR
EXTRA SPACE

EXTRA SPACE STORAGE 3436 -
NEW BUILDING
HIGH POINT OAKS ADDITION
LOTS 3R-1 & 3R-2, BLOCK C
5.798 ACRES
ZONING: LIGHT INDUSTRIAL
USE: SELF SERVICE STORAGE

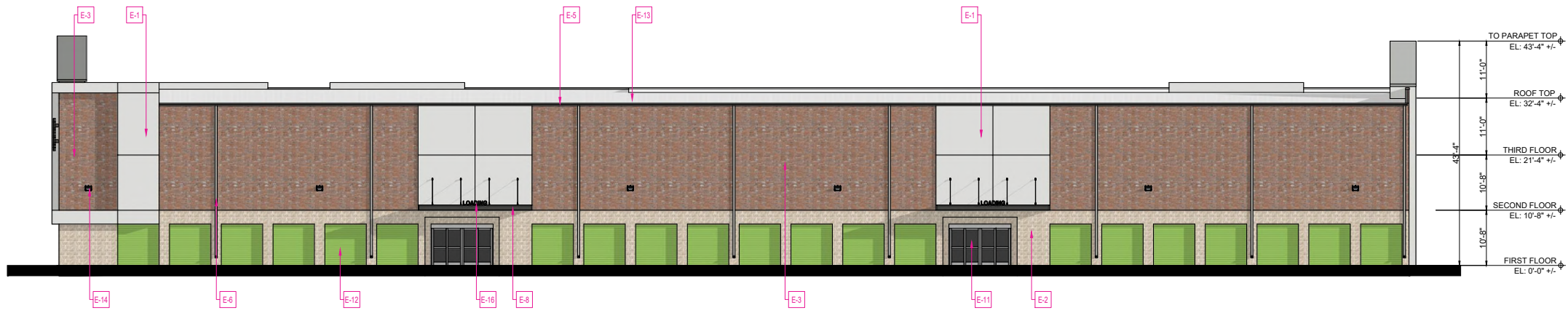
DRAWING NUMBER:
C4.0
5 OF 12 SH



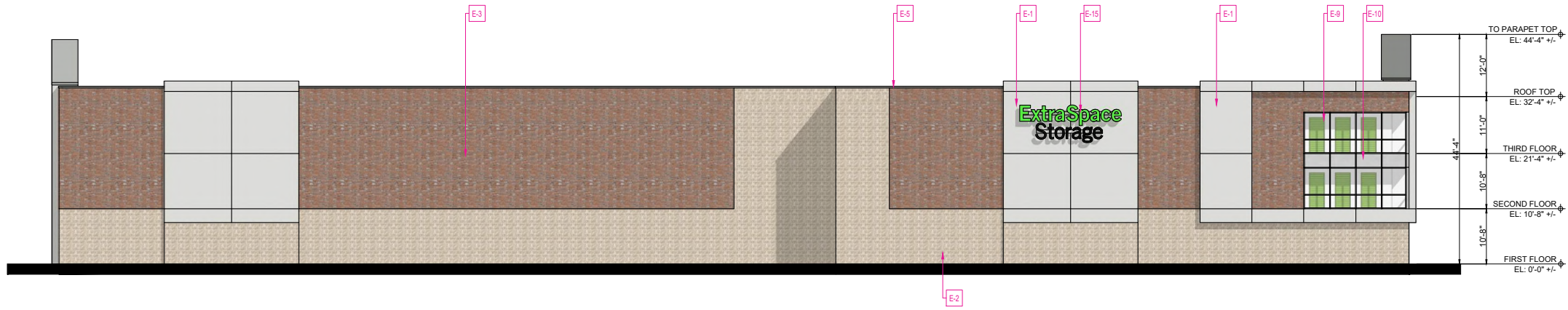
NORTH ELEVATION - 80.3% MASONRY COVERAGE



SOUTH ELEVATION - 89.7% MASONRY COVERAGE



WEST ELEVATION 82.7% MASONRY COVERAGE



EAST ELEVATION 78.8% MASONRY COVERAGE

AVERAGE MASONRY COVERAGE = 82.8%

ELEVATION COLOR AND KEY NOTES	
E-1	EIFS SMOOTH FINISH NEBULOUS WHITE COLOR
E-2	SPLIT FACE CMU BLOCK LIGHT TAN (MATCH EXISTING)
E-3	RED BRICK (MATCH EXISTING)
E-4	NOT USED
E-5	PRE-FINISHED METAL GUTTER/TRIM CITYSCAPE COLOR
E-6	PRE-FINISHED METAL DOWN SPOUT ARGOS COLOR
E-7	METAL DOOR MATCH TAN CMU COLOR
E-8	PRE-FINISHED ALUMINUM CANOPY IRON ORE COLOR
E-9	STOREFRONT GLASS WITH FAUX DOOR CLEAR ALUMINUM
E-10	STOREFRONT WITH METAL PANEL CLEAR ALUMINUM
E-11	12' AUTO BI-PARTING DOOR CLEAR ALUMINUM
E-12	CUSTOMER ROLL-UP DOOR WASABI GREEN
E-13	METAL ROOF COLOR: WHITE
E-14	LED WALL LIGHT
E-15	E.S.S. CHANNEL LETTERS COLOR: REFER TO RENDERINGS
E-16	LOADING CHANNEL LETTERS COLOR: BLACK



PROJECT CONTACT
NAME: STEWART HANDLEY
PHONE: -
EMAIL: shandley@extraspaces.com

CONTACT ADDRESS
EXTRA SPACE STORAGE, Inc.,
CORPORATE OFFICE
2795 E COTTONWOOD PARKWAY,
SUITE 400,
SALT LAKE CITY, UTAH 84121

COPYRIGHT WARNING: All drawings that originate from Extra Space Storage are copyrighted by Federal Copyright Law. No part of these drawings may be reproduced or transmitted in any form or by any means, electronic or mechanical, including drawing and/or photocopying without the written authorization of Extra Space Storage. These drawings cannot be used in any manner to create new, modified, or derivative drawings without the written authorization of Extra Space Storage. Any violation constitutes infringement, which is subject to civil and criminal penalties as prescribed by law.

EXTRA SPACE STORAGE 3436 - NEW BUILDING
HIGH POINT OAKS ADDITION
LOTS 3R-1 & 3R-2, BLOCK C
5.798 ACRES
ZONING: LIGHT INDUSTRIAL
USE: SELF SERVICE STORAGE

PROJECT LOCATION
LIFE STORAGE
2710 DENTON TAP ROAD,
LEWISVILLE, TX 75067

DATE
01-17-2025

SHEET TITLE
PROPOSED
ELEVATIONS

SHEET NUMBER
A-102

THESE DRAWINGS ARE FOR REFERENCE USE ONLY AND ARE NOT FOR CONSTRUCTION. ARCHITECT TO USE THESE DRAWINGS FOR REFERENCE ONLY. ARCHITECT/ENGINEER IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CODE REQUIREMENTS AS REQUIRED BY LOCAL JURISDICTIONS.

01
A-102
PROPOSED ELEVATIONS
SCALE: N.T.S.

- GENERAL PLANTING NOTES
1.

Contractor shall be responsible for becoming aware of all existing conditions, utilities, pipes and structures, etc. related to the project prior to bidding and construction. The Contractor shall be held responsible for contacting all utility companies for locating all underground utility lines, including depths, prior to any excavation. The Contractor shall notify the Owner's representative of apparent conflicts with construction and utilities so that adjustments can be planned prior to installation. Contractor shall take sole responsibility for any and all cost or other liabilities incurred due to damage of said utilities/structures/etc.

2.

The Contractor shall not willfully proceed with construction as designed when it is apparent that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's Representative for clarification. The Contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.

3.

Contractor shall be responsible for coordination with subcontractors and other contractors of related trades as required to accomplish the planting and related operations.

4.

The acceptable tolerances for this project are minimal and specific layout is required as shown on the layout, planting and other plans. Final location and staking of all plant materials shall be accepted by the Owner's Representative in advance of beginning installation of all plant materials.

5.

Coordinate installation of all plant materials with other ongoing work on the project, including but not limited to irrigation, pavements, curb and related constructions. Any damage to existing improvements is the responsibility of said Contractor. The contractor shall notify the owner of the damages and shall be responsible for all repairs.

6.

Contractor shall notify Owner's Representative 48 hours prior to commencement of work to coordinate project inspection schedules.

7.

The Contractor shall take all necessary scheduling and other precautions to avoid climatic damage to plants. A "planting" of specific calendar days is required to be submitted by the Contractor for approval and planting operations should occur per this approved schedule.

8.

If conflicts arise between site conditions or size of areas and scaled plans, Contractor is required to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.

9.

Plant names may be abbreviated on the drawings. See plant legend for symbols, abbreviations, botanical/common names, sizes, estimated quantities (if given) and other remarks.

10.

It is the Contractor's responsibility to furnish all plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Contractor and certified pest and disease free. It is the Contractor's obligation to maintain and warranty all plant materials per the specifications. All plants shall be subject to Owner's approval prior to installation.

11.

Where provided, area takeoffs and plant quantity estimates in plant list are for information only. Contractor is responsible to do their own quantity take-offs for all plant materials and sizes shown on plans. In case of any discrepancies, plans take precedence over call-outs and/or the plant list(s).

12.

Contractor shall provide "per-unit costs" for every size of plant material, and by type, as called out on Planting Plans in the Bid Proposal. Unit cost to include the plant material itself and installation, including all labor, amendments, fertilizers, warranty, etc., as detailed and specified for each size, "complete in place".

13.

The Contractor is responsible to restore all areas of the site, or adjacent areas, where disturbed by operations of or related to the Contractor's work. Sod areas disturbed shall be restored with new sod. Native areas disturbed, if not already improved to meet other requirements of this contract, shall be restored consistent with type, rates and species of existing condition.

14.

During plant establishment, native and wetland areas shall be protected from sedimentation and erosion. Prior to construction activities, native and wetland areas outside of the project limits shall be protected with silt fence. Any such disturbance will require full restoration to natural pre-construction conditions at the contractors expense.

15.

When planting trees and shrubs in existing natural areas, minimize disturbance to adjacent existing vegetation. Any such disturbance will require full restoration to natural pre-construction conditions at the contractors expense.

16.

No Ball & Burlap (B&B) material is allowed or accepted unless specifically specified in the plans or approved through a formal submittal by the Landscape Architect.

17.

All plants shall be nursery grown, Grade 1 plants meeting American Nursery and Landscape Association (ANLA) standards set forth in the "American Standard for Nursery Stock" (ANSI Z60.1-2004). Plants are to be typical in shape and size for species. Plants shall not be root-bound or loose in their containers. Handle all plants with care in transporting, planting and maintenance until inspection and final acceptance.

18.

Warranty: Provide a minimum one-year replacement warranty for all plant materials. Warranty shall cover plants which have died or partially died (thereby ruining their natural shape), but shall not include damage by vandalism, browsing, hail, abnormal freezes, drought or negligence by the Owner. The Warranty is intended to cover Contractor negligence, infestations, disease and damage or shock to plants. Plants replaced under Warranty will be warranted for one year following replacement.

19.

The Contractor is responsible for all maintenance of the site for the duration of construction until acceptance.

20.

The Contractor shall provide a 90-day maintenance period after completion of all scope elements.

PLANTING LAYOUT AND INSTALLATION

1.

The Contractor shall be responsible for accurately laying out the plant beds and lawn areas by scaling the Drawings. The Contractor shall provide paint lines/stakes/hose or other means to fully indicate the specific layout geometry of all bed lines for approval by Owner's Representative prior to installation. The Contractor's Base Bid shall anticipate minor adjustments as directed by the Landscape Architect in the field. Changes affecting quantities will be covered by unit prices.
2.

Following the approval of layout, the Contractor shall closely coordinate the installation of the irrigation system to conform to the approved layout.
3.

All planting beds are to be separated from adjacent Turf Sod, Turf Seed and Native Seed areas with edging per specifications and details. Additional locations may be indicated on the Drawings. Install edging following manufacture's installation instructions. Maintain an accurate layout with smooth curves and transitions, free of kinks and abrupt bends. Top of edging is to be 1" above soil level of adjacent turf. In Bid Proposal furnish a unit price per linear foot of edging installed.
4.

Provide matching sizes and forms for all species of trees and plants installed on grid or spaced equally in rows as shown on drawings. Adjust spacing (to "equal-equal") as necessary, subject to acceptance by the Owner's Representative.
5.

Unless otherwise indicated:

a. All groupings of groundcovers, perennials, ornamental grasses and annuals shall be triangularly spaced (equal-equal).

b. All planting areas including sod, seed and planting beds, shall receive soil amendments per the notes and specifications.

c. Sodded lawn shall have been grown between 9 and 18 months and shall be vigorous, well-rooted and healthy turf. Minimum thatch thickness shall be ¾".

d. All bulb planting shall occur after mid-October and before ground is frozen. See details for bulb planting layout.
6.

All gravel areas or rock mulches should be installed over weed barrier fabric. Edges of weed barrier should overlap minimum 6". Gravel depth shall be a minimum of 3" deep, or as indicated in the plan details.
7.

All Plant Beds and pit planted plants shall receive a 3" depth layer of shredded hardwood mulch. Refer to plans, details and specifications for location and type of any alternate mulch used. In Bid Proposal furnish a unit price(s) per cubic yard of mulch(es) placed. This unit price(s) will be used in the adjustment of bed areas.
8.

Planting pits for 1 and 5 gallon shrubs shall be at least 8" larger in diameter than the container size. Larger container sizes and B&B plants shall be planted in pits at least 3 times larger in diameter than the root ball size.
9.

Plants shall be installed to present their best side facing the viewer.
10.

Owner's representative shall have final approval of plant material layout.

AUTOMATIC IRRIGATION SYSTEM GENERAL NOTES:

1.

Obtain all permits and licenses applicable prior to the start of work.
2.

All required landscape areas shall be irrigated per applicable local ordinances and tceq regulations.
3.

Drip irrigation shall be placed in accordance with manufacturer recommendations. extend drip lines to irrigate planting adjacent to plant beds.

a. Maximum drip lateral length shall not exceed manufacturer specifications
4.

Any quantities shown are approximate. verify quantities and provide all labor, materials, and devices necessary to complete the irrigation system.
5.

The layout shown is diagrammatic. do not place lines or devices in the critical root zone of any tree, or in pavement areas, or areas that conflict with proper installation and function of the system.
6.

Site conditions:

a. Verify and mark the location of all on-site utilities which might be affected by the irrigation system.

b. Verify and mark the location of all buried cables, conduits, piping, etc. prior to trenching or digging. call Texas 811 per Texas utilities code title 5 chapter 251 underground facility damage prevention and safety.

c. Adjust the design as necessary, together with the licensed irrigator, and owners, to suit site conditions, elevations and grades before proceeding with work.

d. Protect from damage as necessary, existing property, existing landscape features, plant material, structures, this work in progress, and the work of other trades.
7.

Provide professional grade valve boxes large enough to accommodate valves and other devices shown in the details. box extensions may be required. ground boxes shall be constructed of materials sufficient in strength to accept loads (pedestrian or vehicular) required based on actual installation location.
8.

Pressure regulating component(s) shall be required where static pressure exceeds manufacturer's recommended operating range.
9.

See details for other required materials and devices.
10.

Piping and fittings:

a. Mainline irrigation system piping 3" and larger shall be bell & gasketed schedule 40 pvc pipe. lateral irrigation system piping 3" and larger shall be bell & gasketed schedule 40 pvc pipe.

b. All piping shall utilize thrust blocks at pipe connections per details. where leemco fitting/joint restraints are used thrust blocks may be excluded.

c. All pipes and electrical bundles passing beneath driveways or paved areas must be sleeved with schedule 40 pvc pipe with sleeve diameter must equal twice that of the pipe or sized as shown on plans.

d. All pvc pipe fittings shall be primed with a colored primer, prior to applying pvc cement.

e. Irrigation mainline and laterals 4" and larger shall utilize leemco fittings/joint restraints as per manufacturer specifications.

f. All lateral pipe shall buried to a min. depth of 6"

g. All mainline pipe shall be buried to a depth of 18", where conditions prohibit this depth, a min. depth of 6" may be used when approved by the licensed irrigator
11.

Excavation:

a. Excavate to depths required to provide 4" depth of sand bedding for piping when rock or other unsuitable bearing materials are encountered

b. Excavate trenches and install piping and fill during the same working day. do not leave open trenches or partially filled trenches open overnight
12.

Irrigation controller and system shall be equipped with an evapotranspiration sensor for daily weather adjustment to run times, the e/t sensor shall have rain/freeze shutoff.

a. Irrigation controller shall be equipped with a flow sensor

b. irrigation controller shall be programmed prior to project closeout.
13.

Backflow prevention devices:

a. Install per manufacturer specifications

b. Adequate insulation must be provided to protect against freeze
14.

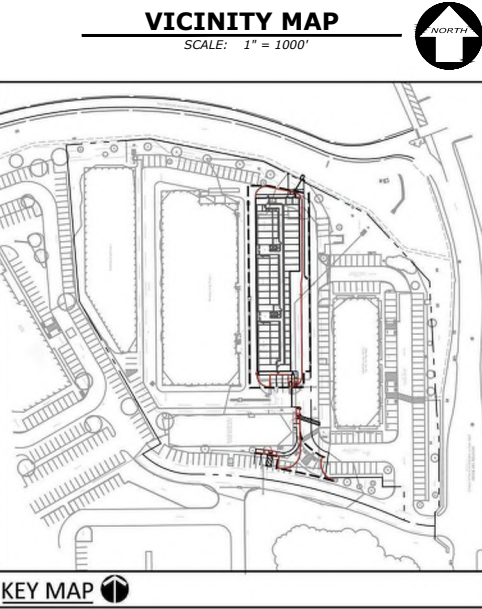
Contractor shall provide a minimum of a 1- year warranty on all craftsmanship, parts, materials and overall irrigation system within the original scope of work.

PLANT SCHEDULE						
CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HT/SPD	WATER USE
TREES						
QULA	2	Quercus laceyi / Lacey Oak	Container Grown	3"Cal	12-15 H X 8 Spd	L
QUVI	3	Quercus virginiana / Southern Live Oak	Container Grown	3"Cal	12-15 H X 8 Spd	L
CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CONTAINER SIZE	NOTES	WATER USE
SHRUBS						
LVN	26	Ilex vomitoria Nana / Dwarf Yaupon	Container Grown	5 gallon	Full	L
MYDD	45	Myrica cerifera Dons Dwarf / Dons Dwarf Wax Myrtle	Container Grown	5 gallon	Full to Ground	L-M
RHC	27	Rhaphiolepis indica Conor / Bleanor Tabor Indian Hawthorn	Container Grown	5 gallon	Full	LV
RHVI	3	Rhus virens / Evergreen Sumac	Container Grown	5 gallon	Full to Ground	L-M
GRASSES						
NOTE	40	Nolina texana / Texas Sacahuista	Container Grown	3 gallon	Full	L
GROUNDCOVER						
JUSA	19	Juniperus sabina var. tamariscifolia / Tamarix Juniper	Container Grown	3 gallon	Full	L-M

TURF GRASS/ PLANT BEDS					
NAME	TOTAL	UNITS	DESCRIPTION		
Plant Bed	1,277	sf			
	24	cy		Planting mix	6" depth (Pro-Gro Soil Mix by Whittlesey Landscape Supply or approved equal)
	12	cy		Mulch	3" Depth (Native Hardwood Mulch)
Cynodon dactylon "Tif 419" / Bermuda Grass	3,122	sf			Cynodon dactylon "TIFWAY 419"
	347	sy		Turf Sod	Bermuda T419
	39	cy		Top Soil	4" Depth (75% Chocolate Loam / 25% Compost)
MISCELLANEOUS					
NAME	TOTAL	UNITS	DESCRIPTION		COMMENTS
Steel Edging	389	lf	3/16" thick; Green to match existing		Source: Outdoor Warehouse, 2791 S Stemmons Fwy Lewisville, TX 75067
Mulch Bed	1	cy	Double Shredded Hardwood Mulch		
Black Star Gravel	4	cy	3" Depth / Size: 1/2-1" Dia.		
River Rock	7	cy	4" Depth / Size: 1.5" - 3" Dia., "Austin River Rock"		
IRRIGATION					
SYMB	QTY	UNITS	DESCRIPTION		COMMENTS
CONTROLLER	1	ea.	Rainbird, Hunter, or Approved Equal		2 per shade tree, 1 per ornamental tree
PLANT BEDS	1,277	s.f.	Drip/Spray		
TREES	10	ea.	Drip/Bubbler		
SOD/TURF	3,122	s.f.	Drip/Spray/Bubbler		



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN FOR APPROXIMATION ONLY. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



SEC Planning
Austin, Texas

LAND PLANNING
LANDSCAPE ARCHITECT
COMMUNITY BRA

3600 W. Parmer Ln.
Suite 210
Austin, TX 78727
T 512.246.7003
www.secplanning.com
Email : info@secplanning.com

extra space storage

2795 e. cottonwood pl
salt lake city, utah

EXTRA SPACE STORAGE 3436
LANDSCAPE IMPROVEMENT PACKAGE

Drawing File Name
L:\240178-KIER\Cadfiles\LA\Sheets

Issued:

1. CITY SUBMITTAL
2. CITY SUBMITTAL

3.

4.

5.

6.

Revisions:

1.

2.

3.

4.

Issue Date: 01/

Drawn By: CM

Reviewed By: CM, BD

Project No.

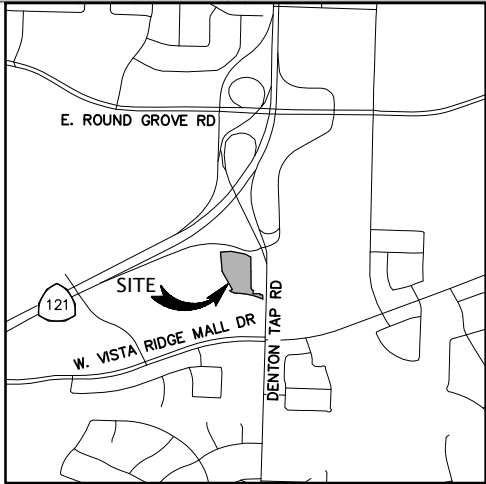
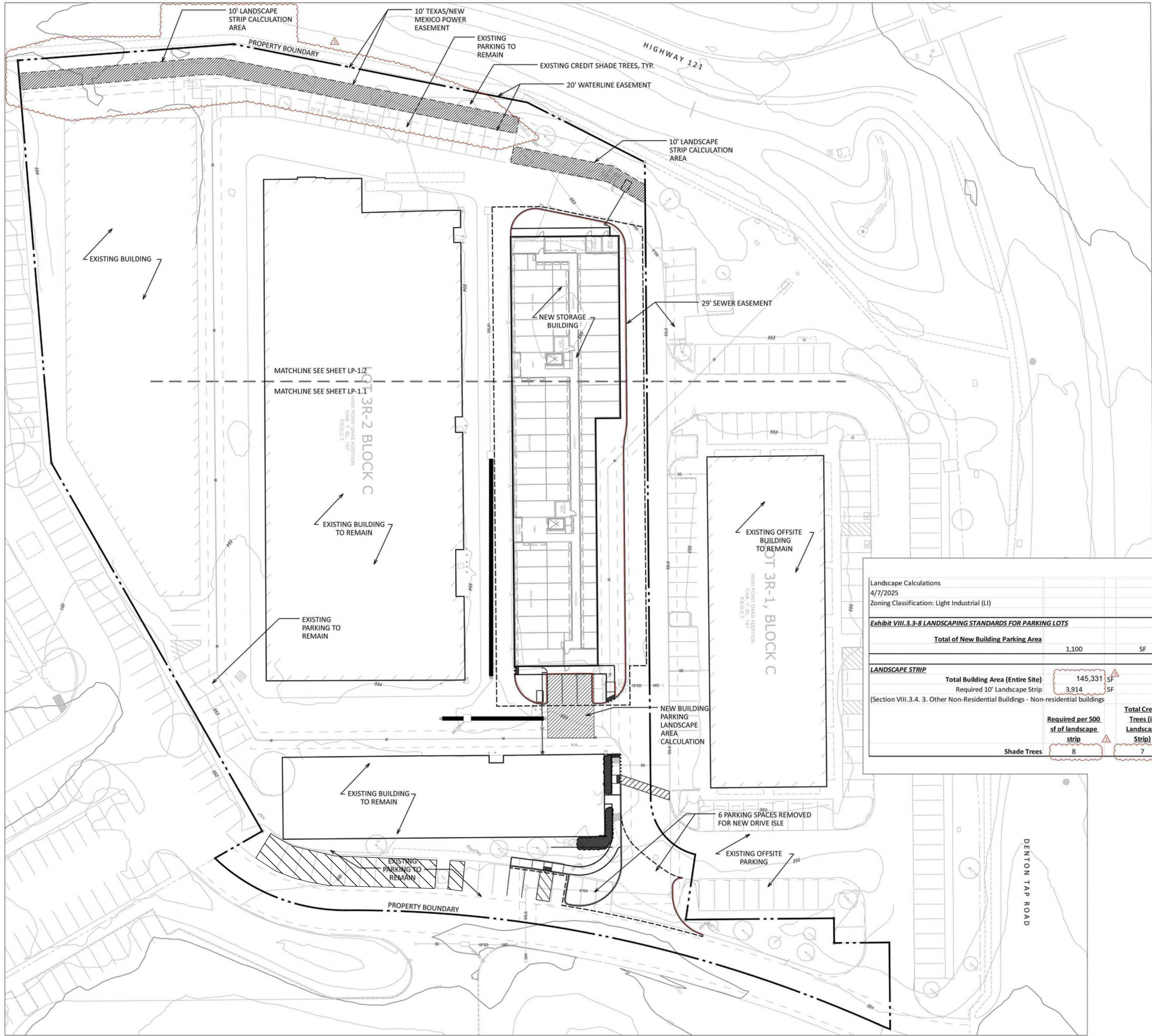
240178-K

LANDSCAPE

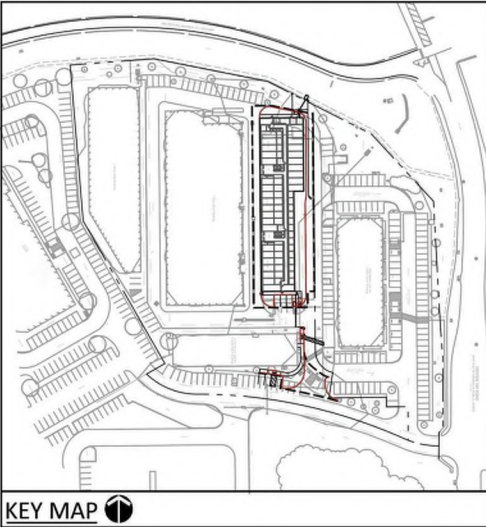
Sheet No.

LPN - 1.0

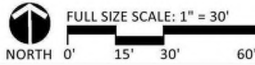
The reproduction, copying or other use of this drawing without the written consent of SEC Planning, LLC is prohibited.
© 2025
SEC Planning, LLC



VICINITY MAP
SCALE: 1" = 1000'



Landscape Calculations					
4/7/2025					
Zoning Classification: Light Industrial (LI)					
Exhibit VIII.3.3-8 LANDSCAPING STANDARDS FOR PARKING LOTS					
Total of New Building Parking Area		Total Required Landscape Area		Total Provided Landscape at New Building Parking Area	
1,100		55		377	
SF		SF		SF	
LANDSCAPE STRIP					
Total Building Area (Entire Site)		145,331			
Required 10' Landscape Strip		3,914			
(Section VIII.3.4. 3. Other Non-Residential Buildings - Non-residential buildings)					
		Required per 500 sf of landscape strip	Total Credit Trees (in Landscape Strip)	Total Planted	Total Provided
Shade Trees		8	7	1	8



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN FOR APPROXIMATION ONLY. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

EXTRA SPACE STORAGE 3436 LANDSCAPE IMPROVEMENT PACKAGE

Drawing File Name

L:\240178-KIER\Cadfiles\LA\LPX-B

Issued:
CITY SUBMITTAL
CITY SUBMITTAL

Revisions:
1.
2.
3.
4.

Issue Date: 01/

Drawn By: CM
Reviewed By: CM, BD

Project No.
240178-K

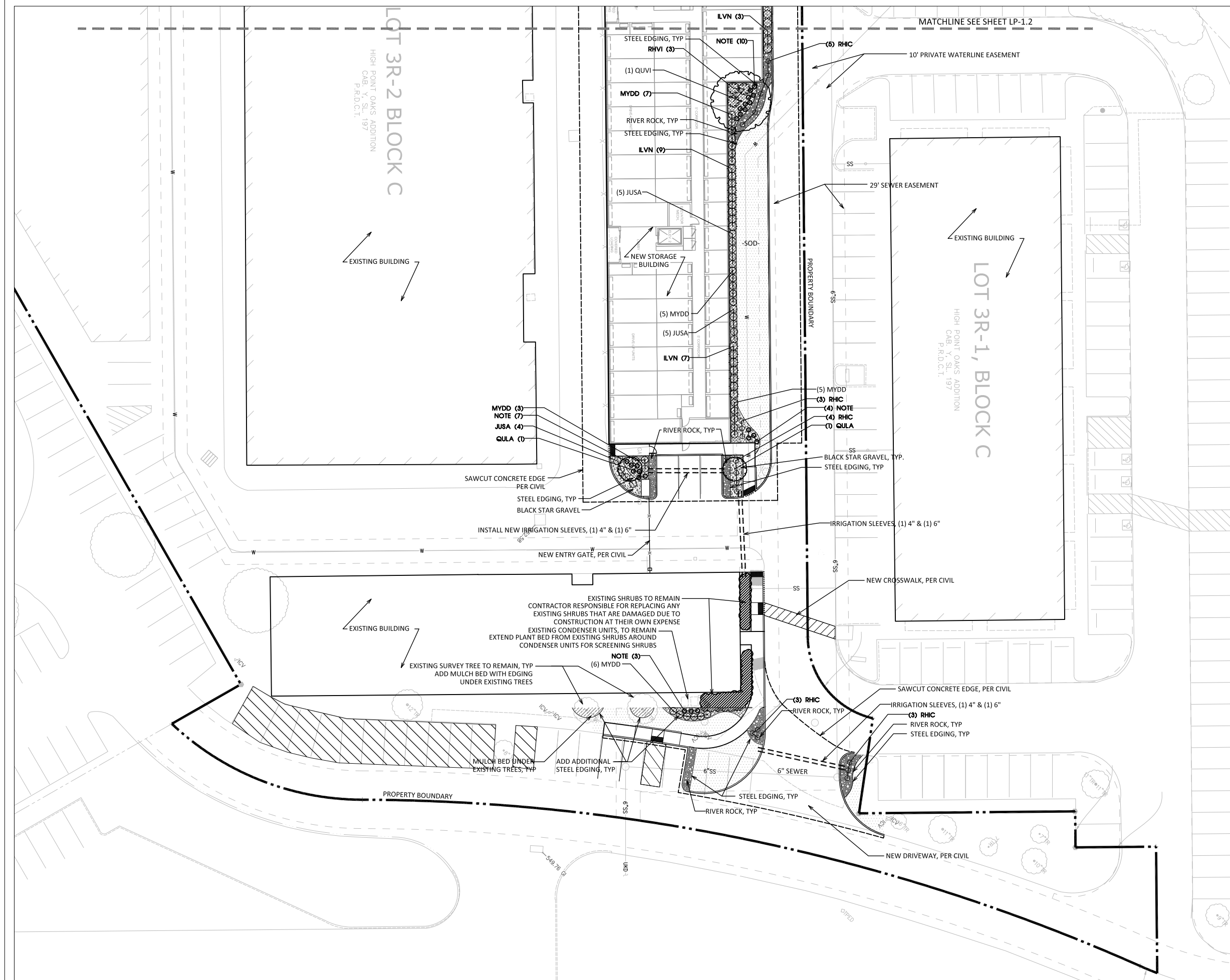
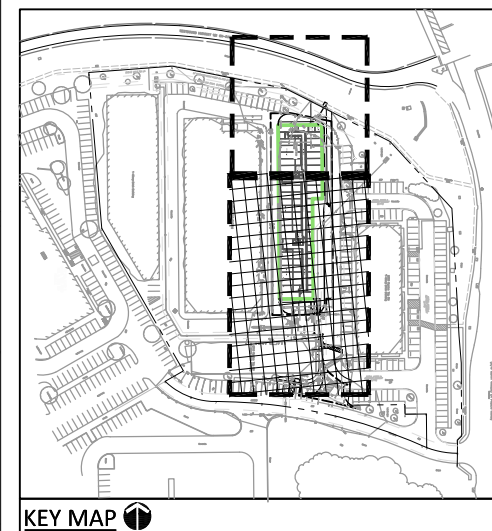
PLANTING
OVERA

Sheet No.
LP-1.0

EXTRA SPACE STORAGE 3436
LANDSCAPE IMPROVEMENT PACKAGE

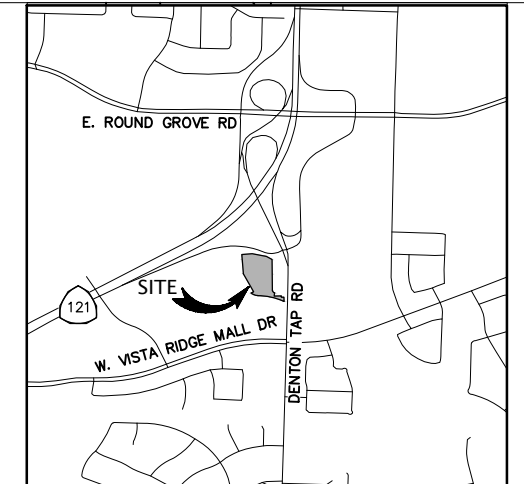
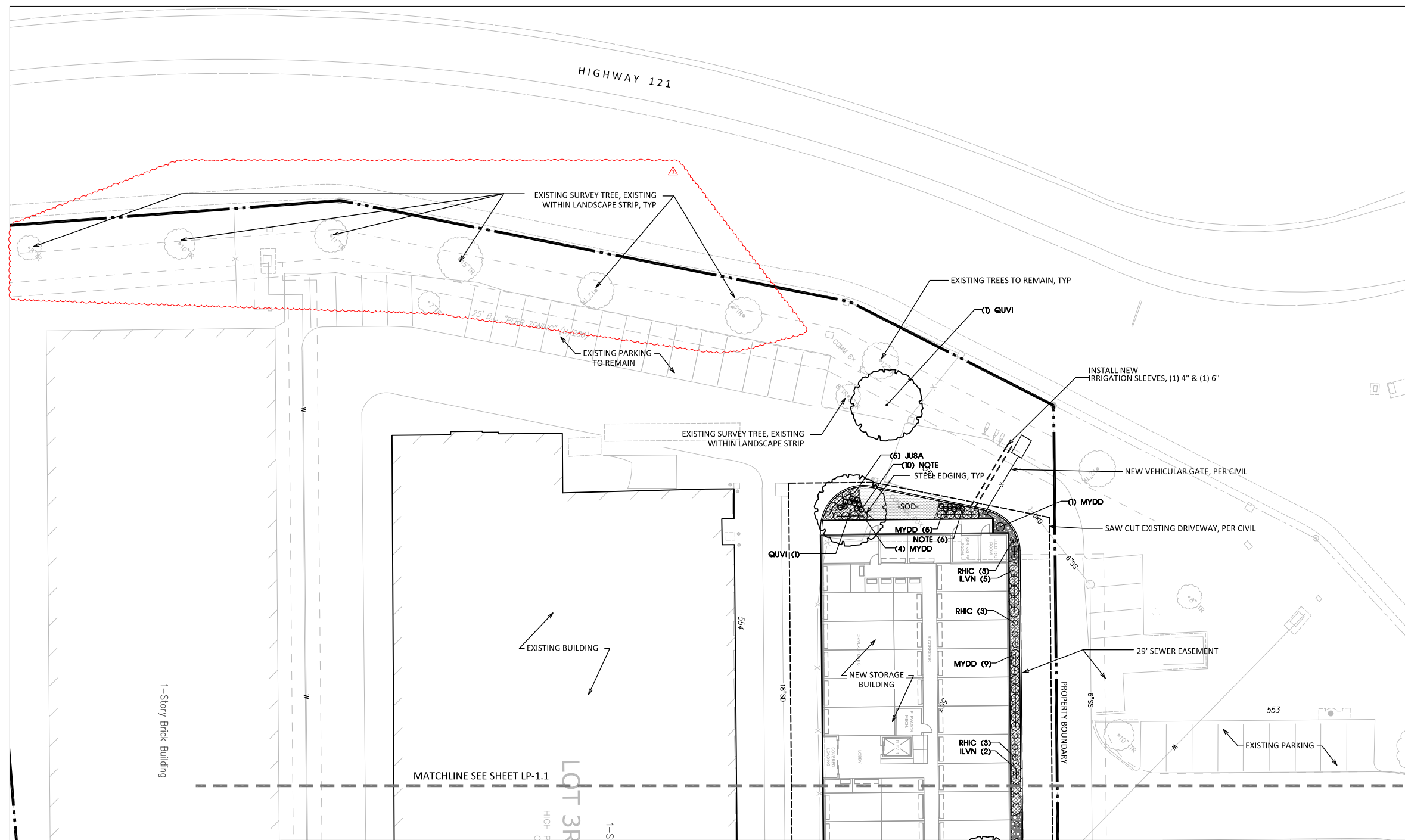
The reproduction, copying or other use of this document without the written consent of SEC Planning, LLC is prohibited.

© 2025
SEC Planning, LLC

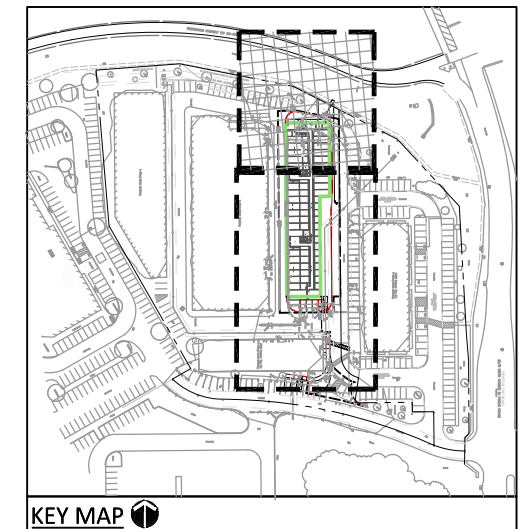


Know what's below.
Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN FOR APPROXIMATION ONLY. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



VICINITY MAP
SCALE: 1" = 1000'



KEY MAP

