



LETTER OF INTENT > LYF23002

October 27, 2023

Planning Services Division
City of Lewisville
151 W Church Street
Lewisville, TX 75057

RE: Josey Residential – Planned Development Application
McAdams Job Number LYF23002

Mr. Jonathon Beckham:

The property is 47.641 acres of a residential planned development. The proposed development will have approximately 134 detached single-family lots. This property is located east of Josey Lane Road. This development is cohesive to the surrounding proprieties. It matches the lot sizes of the development to the west, Lakewood Hills. This development will assimilate well with the surrounding uses of single family and the elementary school.

The purpose of this development is to allow for a more residential housing in prime areas in Lewisville. This area is surrounded by single family living, elementary schools, amenities such as trails in the floodplain, and retail. It is critical location for single family to be located,

This property is currently zoned Public Use. The properties to the direct west and north are also zoned Public Use. The property to the east is zoned Multi-Family, and the property to the south is zoned a PD for Single Family. The properties to the west, north, and south will be separated from this developed by floodplain and the creek/open space.

The impact to transportation will be large as our Development Plan calls to put in a ROW connecting Josey Lane to the proposed multi-family developments coming in the future. This ROW does not run through our development but runs at the north end of the property. This in turn will allow for greater traffic flow, less congestion, and no cars cutting through the development to get to the multi-family subdivision. All water, sewer, and drainage will follow The City of Lewisville's regulations.

This PD will serve as a regulatory document to guide the development of these condos. The base zoning of this PD shall be Estate Townhouse (ETH) as further defined in the City of Lewisville Zoning Ordinance. Any conflicts between the City of Lewisville and this PD, the PD shall prevail.

Please feel free to contact me if you have any questions or comments regarding this submittal.

Sincerely,

A handwritten signature in cursive script that reads 'Patricia Fant'.

Patricia Fant, AICP
Planning + Entitlements

**JOSEY LANE RESIDENTIAL
DEVELOPMENT STANDARDS**

I. PROJECT LOCATION

The Josey Lane Residential project consists of 47.641 acres of land located east of Josey Lane, and more generally described in Exhibit A.

II. PURPOSE AND INTENT

- A. Purpose:** The purpose of the Planned Development is to create a residential development comprised of single-family detached on different sized lots.
- 1. The purpose of this development is:
 - a. To provide development framework for a Planned Development zoning district.
 - 2. The intent of this development is:
 - a. To create a development that provides homeowners with the option of a single-family detached development on different sized lots with easy access to meaningful open space, near neighborhood amenities.
 - b. To provide neighborhood options for residents throughout the City of Lewisville.
 - 3. The Development and Design Standards herein shall apply to the entire Josey Lane Residential development unless indicated otherwise.
 - 4. The total number of single-family lots shall not exceed 136 lots and shall be developed in 1 phase.
- B. Applicability:** These standards shall apply to all development within the Josey Lane Residential boundaries as defined in Exhibit A. The property shall be developed as 1 phase. This Planned Development shall comply with the City of Lewisville Zoning Ordinance unless stated herein.
- C. Zoning Ordinance:** All references herein to the City of Lewisville Zoning Ordinance shall be to the City of Lewisville Zoning Ordinance in effect December 1, 2022.

III. DEFINITIONS

Except as otherwise defined in this PD, the definitions of the Lewisville Zoning Ordinance shall apply to this development.

Architectural Features: Building enhancements that improve the feel and experience of the street, including porches, stoops, bay windows, balconies, masonry columns, clad chimneys, attached pergolas, and colonnades. See features required in Architectural Requirements in this PD.

Garage: The garage width shall be measure from the edge of the garage door to the edge of the garage door. The minimum width of a garage shall be 16 feet.

Covered Porch: A covered porch shall have a minimum depth of 5’ and be attached to the front façade of the house.

Recreation Easement: An easement granted to the City of Lewisville for recreational purposes, the developer maintains the right to engineer the site and by using dirt in the easement area.

IV. DEVELOPMENT REGULATIONS

The Josey Lane Residential development shall have a base zoning of Estate Townhouse Residential (ETH).

A. Residential District Requirements:

1. Permitted Uses: All permitted uses within the Estate Townhouse Residential District shall be permitted including:
 - a. Single Family, detached dwelling units.
2. Height Regulations: No building shall exceed 35 feet or 2.5 stories in height.
3. Area Regulations: The following minimum standards shall be required for all lots and measured from building lines:

Minimum Dwelling Unit: The minimum dwelling unit size shall be 1,800 square feet.

Lot Coverage: In no case shall more than 80 percent of the total lot area be covered by the combined area of the main buildings and

accessory buildings, swimming pools and spas shall not be counted toward the lot coverage.

Front Yard and Garage Setback: There shall be a front yard having a required depth of not less than 15 feet, while the garage face shall have a required setback of 20 feet. The garage setback shall be defined as the front of the garage door to the property line. The double frontage or corner lot, front yards shall be defined on the plat.

Rear Yard: There shall be a rear yard having a required depth of not less than 10 feet unless abutting the floodplain, creek, or multi-family, then the rear yard setback shall be 15 feet.

Side Yard: There shall be a side yard having a required depth of not less than 5 feet. A side yard abutting to the side street shall not be less than 10 feet.

Eaves: Eaves may encroach into a front, side, or rear yard setback 18 inches.

Min. Lot Area: No building shall be constructed on any lot less than 4,000 square feet.

Min. Lot Width: The minimum width of the lot shall not be less than 40 feet at the required 20 foot garage setback and rear setback lines.

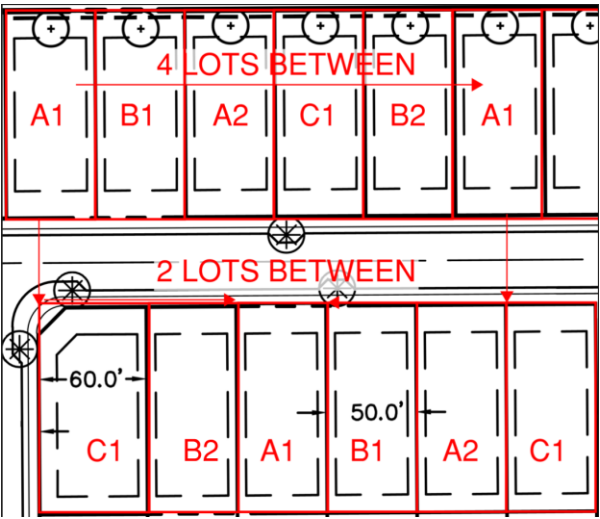
Min. Lot Depth: The minimum depth of the lot shall not be less than 95 feet.

RESIDENTIAL POD SUMMARY				
Legend	Lot Type	Lot Dimensions	Qty.	% of Total
	Type 1	50' X 115'	64	47%
	Type 2	50' X 110'	24	18%
	Type 3	50' X 105'	16	12%
	Type 4	50' X 100'	27	20%
	Type 5	50' X 95'	4	3%
TOTAL			135	100%

- *The maximum number of lots shall be 136 as long as the number of pedestrian breaks remains the same. The number of lots in each size category may differ in the final plat.
5. Maximum Density: There shall be a maximum density of 2.85 dwelling units per acre. Density calculated with the entire property acreage including parkland dedication.

6. Parking Requirements: There shall be, in addition to the 2 spots in the garage, and 2 additional concrete spaces.
7. HOA: There shall be a Home Owners Association (HOA) created and Declaration of Covenants, Conditions, and Restrictions (CC&Rs) on the maintenance of common areas and X lots which include the drainage and utility easement lots, not including park dedicated land.
8. Drainage: The creek and tributary shall be dedicated as drainage right-of-way, or dedicated fee simple to the City of Lewisville as determined and approved by the City Engineer and Parks Director.
9. Architectural Requirements: The single-family building(s) shall follow the standards set forth in the City of Lewisville Code of Ordinances. The following changes and/or additions shall apply:
 - a. Cementitious siding shall be permitted as a primary building material.
 - b. All additions must match existing exterior material ratios.
 - c. Elevations shall be in general compliance with the elevations attached within this Planned Development.
 - d. All homes shall have two or more planes.
 - e. All homes shall have a gabled or hip roof.
 - f. Each house shall provide a minimum of three architectural features from the list below:
 - Arched architectural features.
 - Awning
 - Bay Windows
 - Brick Chimney on exterior wall
 - Cast Stone or Masonry Accents
 - Colored window frames- other than the traditional sand stone brown
 - Covered Entry
 - Covered Front Porches minimum depth of 5'
 - Decorative Garage Doors
 - Dormers.
 - Decorative brick/stone.
 - Decorative Coach Light
 - Decorative cornices.
 - Decorative front door with partial or full glazing

- Decorative gables.
 - Decorative railing/posts.
 - Greater or equal to that 6:12 roof pitch
 - Gridded Windows
 - One hundred (100) % brick or stone exterior front facade.
 - Other decorative features as approved by the Planning Director.
 - Shutters or window awnings
- g. Garage doors shall have either windows, decorative hardware, molded raised trim, or panels, which shall be flush with paint to match trim or home.
- h. The same floor plan with the same elevation shall be separated by a minimum of four (4) lots between them on the same side of the street and by a minimum of 2 lots between them on the opposite side of the street.



10. Sign: The sign regulations found in the City of Lewisville’s Code of Ordinances shall apply to this PD.

V. DESIGN REGULATIONS

- A. Street Requirements:** The development shall be a served by the designated street classification of residential, with a combination of 33’ pavement and a 50’ right-of-way.
1. Corner Clip: The Corner Clip ROW dedication for the residential streets shall be 15’X15’.

2. Visibility Easements: There shall be a 45'x45' Visibility Easement measured from the pavement intersection.

3. Sidewalks: There shall be a minimum of a 5' sidewalk on both sides of the interior streets and it shall be a minimum of 1' from the property line.

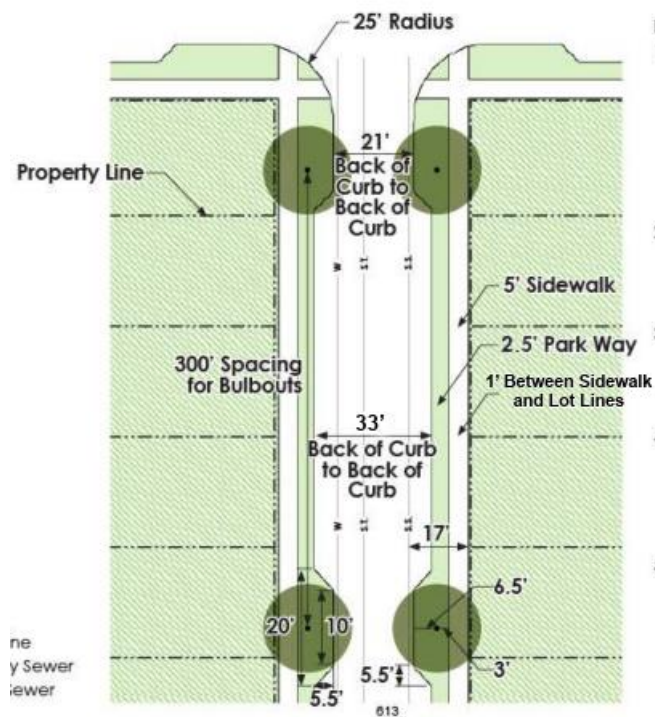
4. Public Streets: The streets internal to the development shall be public and designed in accordance with the City of Lewisville Regulations. See reference image below.

5. Park Fees: The Park dedication requirement will be determined with the plat or separate agreement.

6. Minimum Centerline Radius: The minimum centerline radius for curves shall be 200'.

7. TIA: A Traffic Impact Analysis (TIA) shall be required for this development. The TIA shall be completed and submitted prior to approval of the civil construction plans. If the TIA recommends the installation of a traffic signal at the intersection of this development's primary access drive (aligned with Lakewood Hills Dr) and North Josey Lane then the developer shall be responsible for their proportionate share of the cost of the signal. The proportionate share shall be determined by taking the percentage of trips generated by this development compared to the total vehicular trips estimated on North Josey Lane at the Horizon year per the TIA.

8. Alleys: Shall not be required.



B. Landscape and Open Space Requirements:

The stated under Sec. 6-122. Single Family Detached Residential Requirements in the City of Lewisville Zoning Ordinance shall apply to the detached single family residential lots, except otherwise stated:

1. Landscape Buffer: There is a 100' Atmos easement from the boundary of Josey Lane to the internal of the property. Due to this, the required landscaping within the landscape buffer shall be items from both the approved Atmos landscape list and the City of Lewisville's Code, attached at the end of this PD. No trees shall be required. In the case that overhead utilities or Atmos gas line interferes with the buffers, then the buffer may move.. Protected existing trees may count toward this requirement and new tree to be counted toward tree mitigation requirements.
2. Landscape Turf: Per Article VIII Chapter III, any permeable surface within the required landscape strip which is not occupied by trees, shrubs, planting beds, or other allowable fixtures shall be landscaped with turf or other living groundcover. Turf areas within the required landscape strip shall be limited to 50% of the area of the required landscape strip. The remaining area shall be comprised of living groundcover, planting beds, mulched areas under trees or other low-water designs.

- 3. Street Trees: Street trees shall be canopy.
- 4. HOA: The HOA will maintain all X lots including the drainage and utility easement lots.
- 5. Trail: There shall be a 12’ trail meandering throughout the recreation easement, to be built by the City of Lewisville.
- 6. Sidewalk: There shall be a sidewalk along Josey Lane. If the distance to existing sidewalks exceeds 1,000 feet, the City shall reimburse the developer through a pro-rata arrangement for the portions over 1,000 feet as adjacent properties develop.

C. **Screening and Fencing Requirements:**

The regulations under Section 6.141-6.143 Screening Devices in the City’s Zoning Ordinance shall apply to all detached family residential lots except as follows, as shown on the Concept Landscape Plan:

- 1. Masonry Wall: There shall be a 6’ board on board fence and each lot along the eastern boundary shall have a canopy tree within the rear building setback in lieu of a 6’ screening wall and built along the east boundary adjacent to multi-family uses, a landscape buffer shall not be required.
- 2. Masonry Wall: There shall be a minimum 4’ berm and live screening along Josey Lane in lieu of a 6’ screening wall to be maintained by the HOA. Living screen is defined as a continuous line of evergreen shrubs placed to create a solid vegetative screen that matures at a height of no less than 6ft.
- 3. Open Space: Fencing adjacent to open space, floodplain, flowage easements, or wetlands, may either be ornamental metal or board on board.

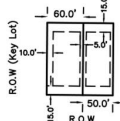
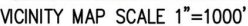
Variance Table

Variance:	Required by Code:	Deviations in the PD:
Screening on East Boundary	6’ Screening Masonry Wall	6’ Board on Board
Landscape Buffer East Boundary	10’ Landscape Strip	No Landscape strip but a 15’ rear yard setback and one 3” at DBH

		canopy tree in the rear yard setback.
Screening on Josey Lane	6' Screening Masonry Wall	Enhanced Live Screening and Berms, location depends on Atmos line location.
Park Fees	Paid at time of platting	Finalized and paid prior to the release of the first building permit

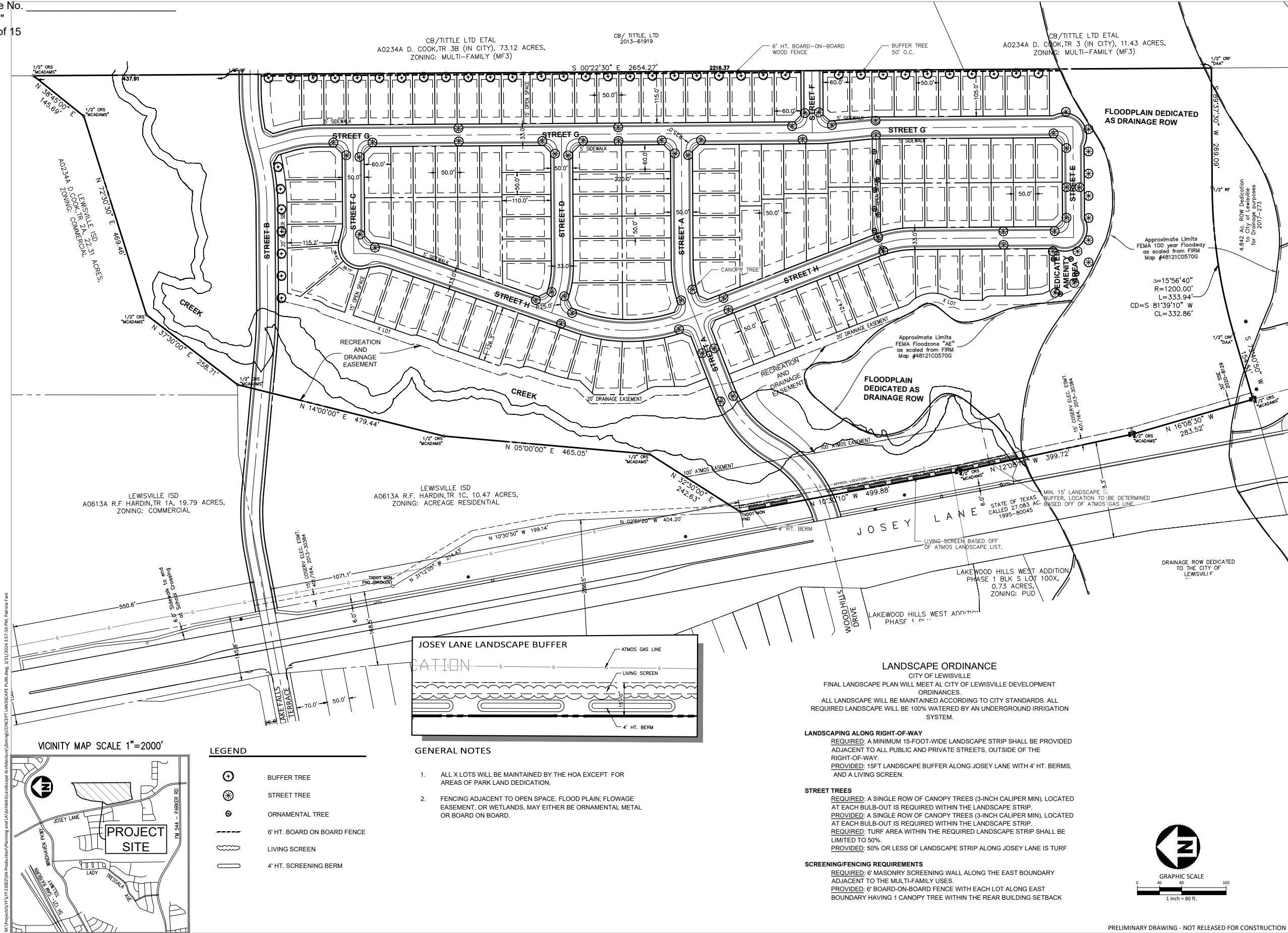
R. P. HARDIN SURVEY, ABSTRACT NO. 613
D. COOK SURVEY, ABSTRACT NO. 234
T. A. WEST SURVEY, ABSTRACT NO. 1345
B. SCHOONOVER SURVEY, ABSTRACT NO. 1209
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

PROJECT NO.	LYF 23002
FILENAME	LYF 23002 46.7 AC. ZONING BASE
CHECKED BY	PF
DRAWN BY	AB
SCALE	1"=100'
DATE	12.06.2023



50 FT. LOT
(next to the
creek/floodplain and
next to MF)

RESIDENTIAL POD SUMMARY				
Legend	Lot Type	Lot Dimensions	Qty.	% of Total
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	Type 2	50' X 110'	24	18%
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TOTAL			135	100%



McAdams

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CLIENT

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PLANNER

PATRICIA FANT, LAND PLANNER
4400 State Highway 121, Suite 800
LEWISVILLE, TX 75057
EMAIL: pfant@mcadamsco.com

ZONING EXHIBIT

47.641 ACRES

R. P. HARDIN SURVEY, ABSTRACT NO. 613
D. COOK SURVEY, ABSTRACT NO. 234
T. A. WEST SURVEY, ABSTRACT NO. 1345
B. SCHOONOVER SURVEY, ABSTRACT NO. 1209
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

REVISIONS

NO.	DATE	DESCRIPTION
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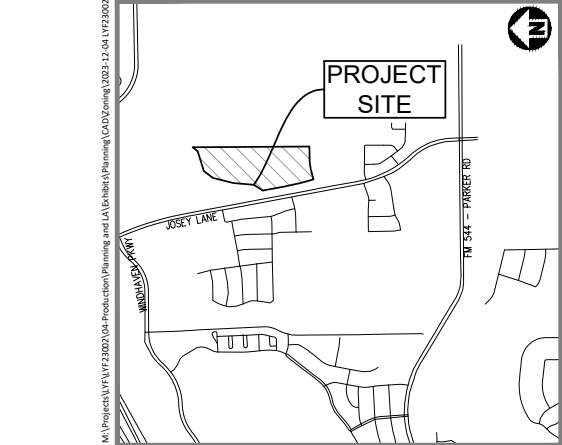
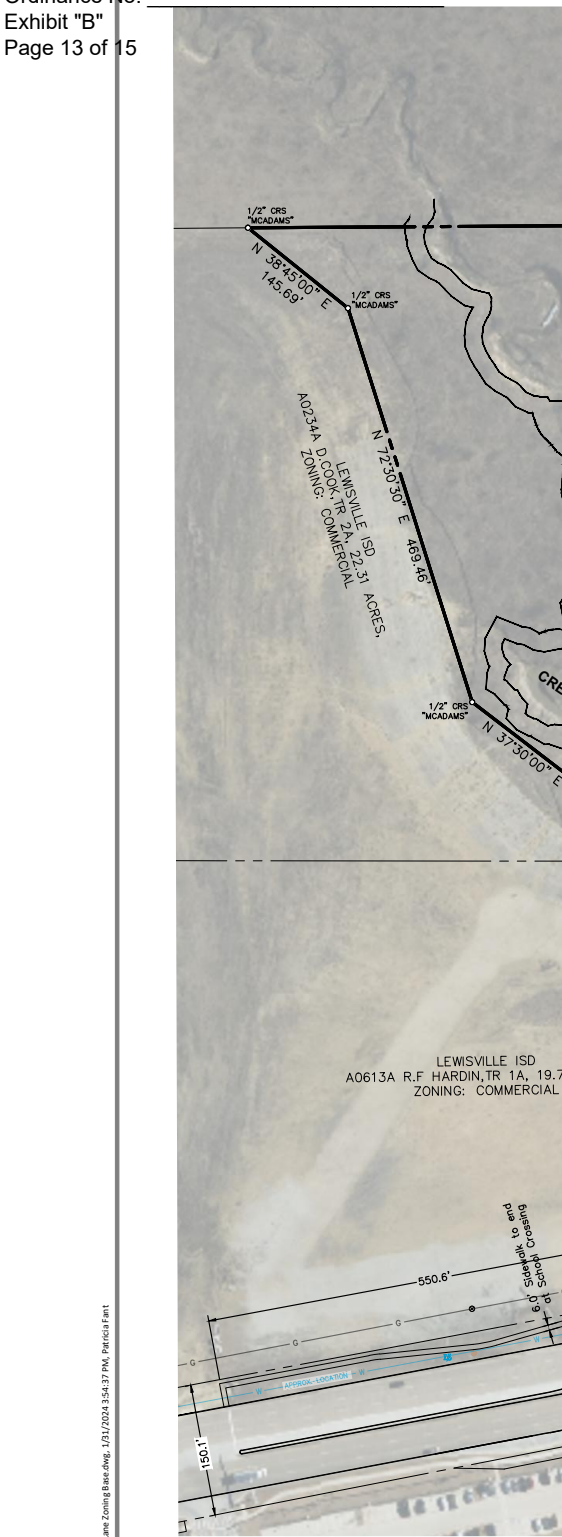
PROJECT INFORMATION


PROJECT NO. LYF23002.00
FILENAME CONCEPT LANDSCAPE PLAN.dwg
CHECKED BY VB
DRAWN BY JS
SCALE 1"=100'
DATE 10.19.23

SHEET

CONCEPT LANDSCAPE PLAN

LX1



 = Park Dedication Area

Josey Lane Residential Park Dedication	
Dedication Required	Dedication Proposed
4.05 Acres	9.37 Acres



McADAMS

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PLANNER

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PARK DEDICATION PLAN

JOSEY LANE RESIDENTIAL

47.641 ACRES

R. P. HARDIN SURVEY, ABSTRACT NO. 613
D. COOK SURVEY, ABSTRACT NO. 234
T. A. WEST SURVEY, ABSTRACT NO. 1345
B. SCHOONOVER SURVEY, ABSTRACT NO. 1209
CITY OF LEWISVILLE, DENTON COUNTY, TEXAS

PROJECT INFORMATION	
PROJECT NO.	LYF 23002
FILENAME	LYF 23002 46.7 AC. ZONING BASE
CHECKED BY	PF
DRAWN BY	AB
SCALE	1"=100'
DATE	12.11.2023

Atmos Energy Approved Vegetation

The following plants are allowed on Atmos Energy’s right of way. These plants have less than 4’ growth potential and a non-intrusive root system. They are also local to the North Texas climate.

Outlined shrubs are also found on COLV approved planting list

Shrub

- Agave
- American BeautyBerry
- Barberry
- Cast Iron Plant
- Color Guard Yucca
- Compact Nandina
- Drift Rose
- Dwarf Boxwood
- Dwarf Chinese Holly
- Dwarf Indian Hawthorn
- Dwarf Spiera
- Dwarf Variegated
- Dwarf Yaupon Holly
- Flirt Nandina
- Harbor Dwarf Nandina
- Miniature Crape Myrtle
- Rose Creek Abelia
- Rosemary
- Spreading Yew
- Variegated Abelia
- Wheeler’s Dwarf

Perennial

- Autumn Salvia
- Black-Eyed-Susan
- Blackfoot Daisy
- Blue Mealy Sage
- Calylophus
- Cone Flower
- Creeping Lantana
- Daylily
- Dwarf Mexican Petunia
- Flame Acanthus
- Garden Phlox
- Gaura
- Holly Fern
- Lamb’s Ear
- Wood Fern

Ornamental Grass

- Berkeley’s Sedge
- Gulf Muhly
- Hamel’s Fountain
- Mexican Feather

Groundcover

- Ajuga
- Asian Jasmine
- Creeping Juniper
- Creeping Rosemary
- Lirope, regular or giant
- Mondo Grass
- Purple Euonymus



Customer Service: 888.286.6700
atmosenergy.com/pipelinerenewal



Rose Creek Abelia



Dwarf Yaupon Holly



Daylily



Harbor Dwarf Nandina



Lily Turf



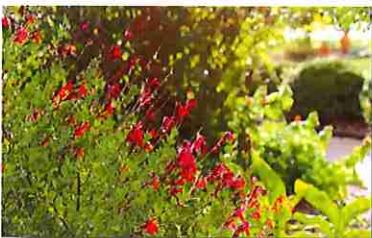
Black-Eyed Susan



Dwarf Spiera



Mexican Feather grass



Greggs Salvia



* The represented imagery is conceptual and not the final product. All garages shall be setback 20 feet behind the property line. *