



Backyard Cottages Assessment

March 4, 2024

History

PRE-UDC – SUP
REQUIRED

DECEMBER 1, 2022 -
UDC AMENDMENT TO
ALLOW IN MOST ZONING
DISTRICTS WITH
SUPPLEMENTAL
STANDARDS

Supplemental Standard Refresher

Cannot be taller than the main dwelling.

May not be temporary structures.

Must be placed on a permanent foundation.

Minimum of **400 sq ft.** and a **maximum** of **800 sq ft.** or 50% of the main dwelling, whichever is greater.

Cannot exceed the maximum lot coverage.

Must have its own **parking space** that **cannot be tandem.**

Parking **space** must be **contiguous** to the **main driveway.**

Compatible design with the main building.

Only **one** backyard cottage is allowed **per lot.**

The **owner** must permanently live on the **property.**

Cannot be sold separately from the main dwelling.

Located behind the main dwelling.

At least **ten feet** of **separation** from the main dwelling.

At least **five feet** from any lot line.

Must **meet** the **required side yard** if located on a **corner lot.**

...but no backyard cottages have been built

Outline of presentaiton



Pattern Book by UTA



Housing Toolkit

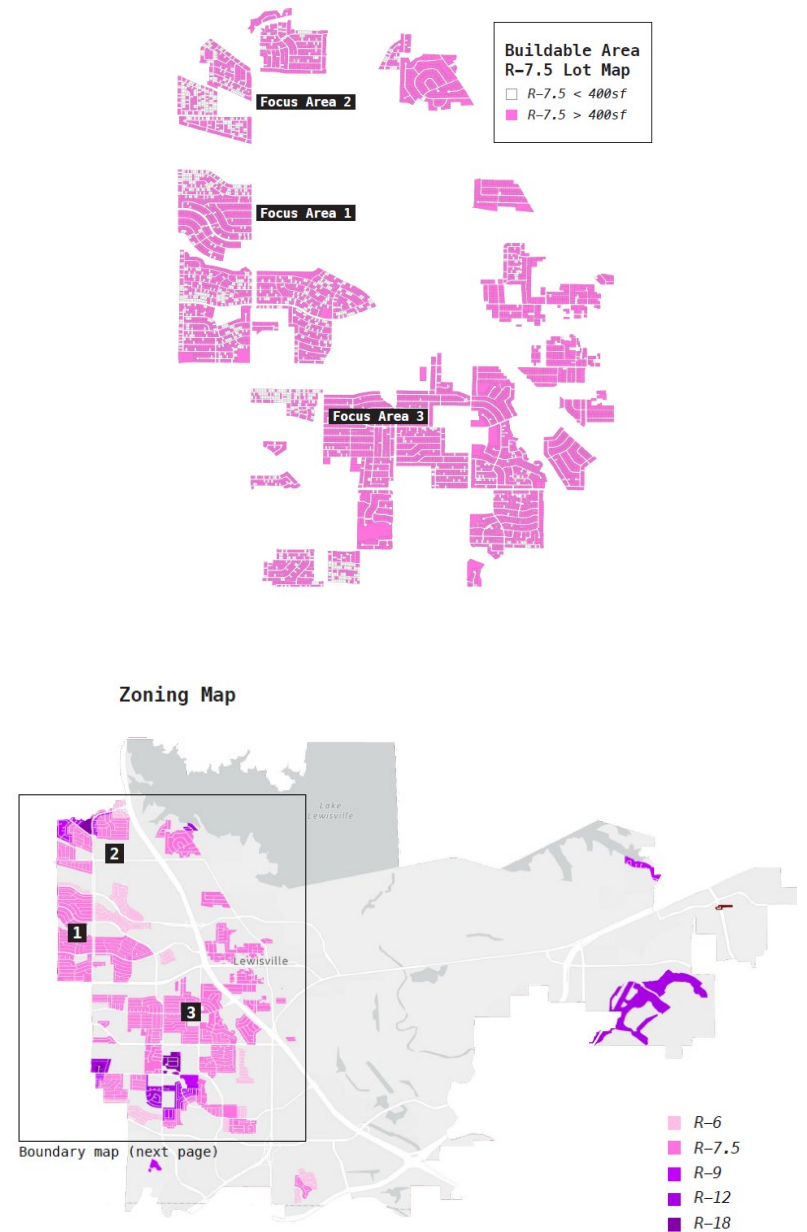


Website to inform
interest homeowners

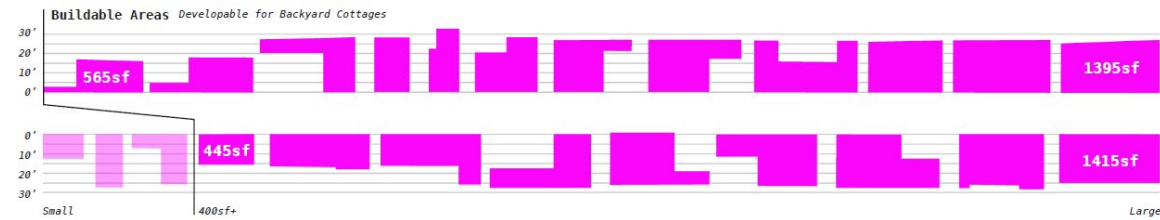


Pre-Approved Design
Program Launched
(anticipating
submissions)

Pattern Book Analysis



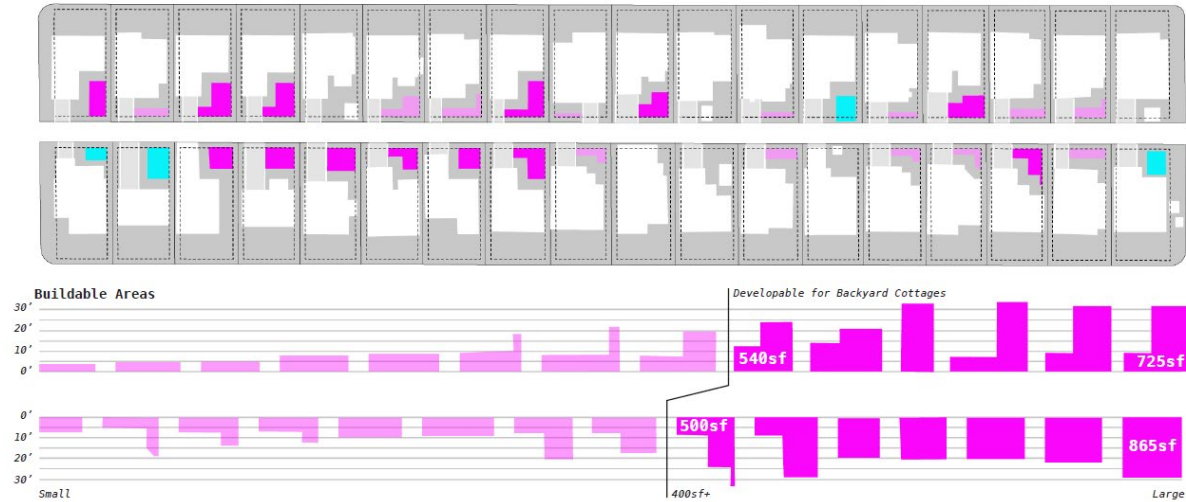
Type #1 has ample buildable lots due to street accessed drives
("buildable" = minimum 10' in one dimension + 400sf)



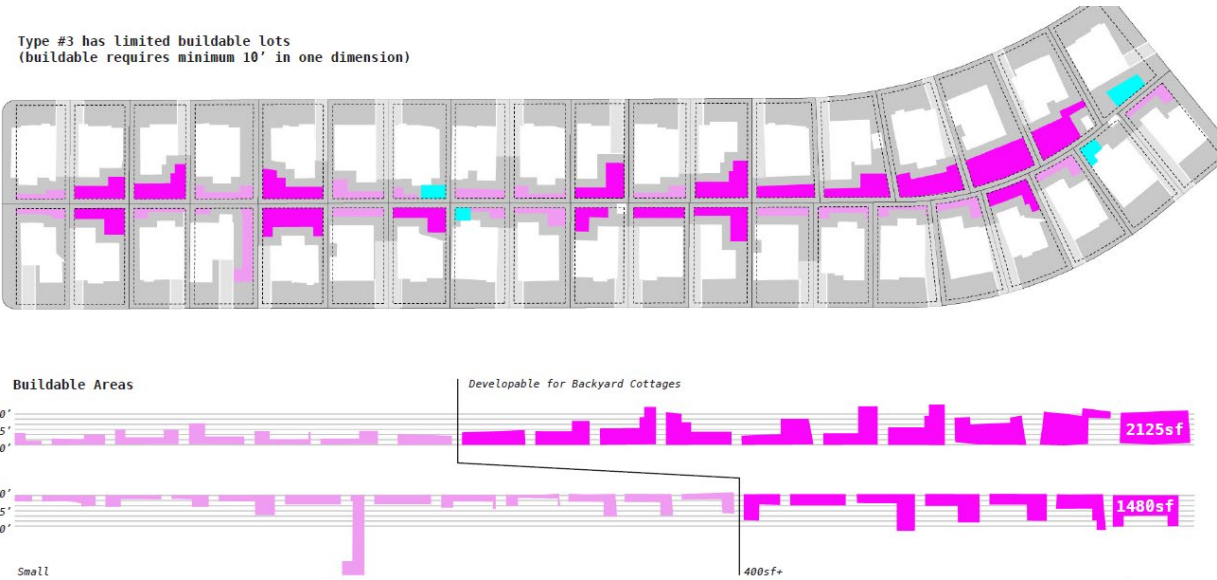
Pattern Book Analysis



Type #2 has limited buildable lots
("buildable" = minimum 10' in one dimension + 400sf)



Pattern Book Analysis



Pattern Book Analysis

Pattern Book Key Findings



Of R-7.5 parcels, 7,858 have enough land to accommodate a backyard cottage but may not have the dimensions to accommodate a backyard cottage.



81% of single-family homes are owner occupied.



To be affordable to average homeowners the construction cost should be kept to \$150 per square foot.



Pattern Book Recommendations

ALLOW BACKYARD
COTTAGES TO BE
GARAGE CONVERSIONS
AND/OR ATTACHED
UNITS BY RIGHT.

REDUCE MINIMUM
GARDEN COTTAGE
SQUARE FOOTAGES.

REDUCE OR ELIMINATE
REQUIRED REAR YARD
SETBACKS ALONG
ALLEYWAYS FOR
BACKYARD COTTAGES.

ELIMINATE OFF-STREET
PARKING REQUIREMENTS
IN TRANSIT CONNECTED
AREAS.

ALLOW FOR OFF-STREET
PARALLEL PARKING IN
ALLEYWAYS FOR
BACKYARD COTTAGES

PERMIT LONG-TERM
BACKYARD COTTAGE
RENTALS ON
PROPERTIES THAT ARE
NOT OWNER OCCUPIED.

WAIVE PERMITTING FEES
AND EXPEDITE PERMIT
APPLICATIONS FOR
BACKYARD COTTAGES.

Housing Toolkit



Issue

Homeowners/Investors are not building Accessory Dwelling Units (Backyard Cottages)

Potential Solutions

Use insights from the UTA pattern book analysis to foster development and homeowner handbooks.

Revisit homeowner-occupancy requirements

Backyard Cottage Webpage



Sign in



Backyard Cottages For Beginners

Backyard Cottages

Everything homeowners need to know about building an accessory dwelling unit in Lewisville, Texas.



Pre-Approved Design Program



Materials Established



Architects Contacts

Two expressed Interest and we hope to have submittal soon



**Pulling pre-approved designs public
ally available from other
municipalities**

Next Steps

Design Competition

Partnership with UTA?

Amend Regulations



Backyard Cottage Design Competition

to increase
awareness and
support in the
community

AARP grant
application for
funding

PRO Housing

Pathways to Removing Obstacles (PRO) to
Housing

HUD funding

\$3 million to create Backyard Cottages

Pilot program to fund construction of Backyard
Cottages

Prioritize seniors to live in Backyard Cottage

Waiting to hear on award

Partner with UTA architecture

Goal	Timeframe	Needs
Pilot backyard cottage	Design in the Fall Semester, Permit over winter break and Construct in spring/summer	A participating property owner Potentially funding

Discussion

Size

- Reduce minimum size to 200SF or 300SF

Configuration

- Allow them to be attached or potentially in converted garages.

Setbacks

- Remove or reduce setback from alley

Parking

- Allow parallel parking along alley

Fees

- Waive permitting fees