

**JOSEY LANE**  
**PUBLIC IMPROVEMENT DISTRICT**  
CITY OF LEWISVILLE, TEXAS

**ANNUAL SERVICE PLAN UPDATE**  
**2018-19**

**SEPTEMBER 17, 2018**

**PREPARED BY:**

**MUNICAP, INC.**  
— PUBLIC FINANCE —

# JOSEY LANE PUBLIC IMPROVEMENT DISTRICT

## ANNUAL SERVICE PLAN UPDATE – 2018-19

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## ***A. INTRODUCTION***

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The Josey Lane Public Improvement District (the “PID”) was created pursuant to the PID Act and a resolution of the City Council on October 6, 2014 to finance certain public improvement projects for the benefit of the property in the PID. The property within the PID is shown in Appendix A attached hereto. A Reimbursement Agreement between the City and the Developer was signed on December 15, 2014 to finance, provide or otherwise assist in the acquisition and construction of the Authorized Improvements provided for the benefit of the property in PID. The reimbursement agreement obligations (the “Reimbursement Agreement”) for the Authorized Improvements are secured by Assessments.

A service and assessment plan (the “Service and Assessment Plan”) was prepared at the direction of the City identifying the Authorized Improvements (the “Authorized Improvements”) to be provided by the PID, the costs of the Authorized Improvements, the indebtedness to be incurred for the Authorized Improvements, and the manner of assessing the property in the PID for the costs of the Authorized Improvements. Pursuant to the PID Act, the Service and Assessment Plan must be reviewed and updated annually. This document is the annual update of the Service and Assessment Plan for 2018-19 (the “Annual Service Plan Update”).

The City also adopted an assessment roll (the “Assessment Roll”) identifying the Assessments on each Parcel within the PID based on the method of assessment identified in the Service and Assessment Plan. This Annual Service Plan Update also updates the Assessment Roll for 2018-19.

Capitalized terms used in this Annual Service Plan Update shall have the meanings set forth in the Service and Assessment Plan, or the Reimbursement Agreement, as applicable.

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## ***B. UPDATE OF THE SERVICE PLAN***

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### **I. ANNUAL BUDGET FOR THE AUTHORIZED IMPROVEMENTS**

The total estimated cost of the Authorized Improvements is equal to \$17,738,000, which remains the same as the budget estimates included in the original Service and Assessment Plan. There have been no budget line item amount revisions for the Authorized Improvements reported by the Developer and, therefore, no changes for the Annual Service Plan Update. Appendix B to this Annual Service Plan Update shows the budget for the Authorized Improvements.

As shown by Table B-1 below, the PID has incurred indebtedness in the total amount of \$17,738,000 in the form of the Reimbursement Agreement, which is to be repaid from Assessments.

**Table B-1**  
**Sources and Uses of Funds**  
**Authorized Improvements**

<b>Sources of Funds</b>	<b>Total</b>
Reimbursement Agreement	\$17,738,000
<b>Total Sources</b>	<b>\$17,738,000</b>
<b>Uses of Funds</b>	
<b>Authorized Improvements</b>	
Total estimated costs	\$17,738,000
<b>Total Uses</b>	<b>\$17,738,000</b>

A service plan must cover a period of five years. All of the Authorized Improvements are expected to be built within a period of five years. The estimated costs of the Authorized Improvements, the anticipated budget for the Authorized Improvements over a period of five years, and the indebtedness expected to be incurred for these costs are shown in Table B-2 on the following page.

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**Table B-2**  
**Annual Projected Improvement Costs and Annual Projected Indebtedness**  
**2016-2023**

<b>Year</b>	<b>Annual Projected Improvement Cost</b>	<b>Annual Projected Indebtedness (Estimated Annual Installments)<sup>1</sup></b>	<b>Excess Costs paid by sources other than Assessment Revenue</b>
2016-17	\$10,309,075	\$1,032,091	\$0
2018	\$2,476,308	\$633,714	\$0
2019	\$2,476,308	\$1,253,081	\$0
2020	\$2,476,308	\$1,253,081	\$0
2021	\$0	\$1,266,630	\$0
2022	\$0	\$1,281,224	\$0
2023	\$0	\$1,295,693	\$0
<b>Total</b>	<b>\$17,738,000</b>	<b>\$8,015,515</b>	<b>\$0</b>

1 – According to the Developer, the total amount includes costs incurred in 2016 and 2017.

## **II. DEBT SERVICE AND COLLECTION COSTS**

The Assessment imposed on any Parcel may be paid in full at any time. If not paid in full, the Assessment shall be payable in thirty-five Annual Installments of principal and interest beginning with the first January 31<sup>st</sup> following the one-year anniversary of the final plat approval for that Lot or Parcel.

Pursuant to the Service and Assessment Plan and the Reimbursement Agreement, simple interest at the rate of 6.53% per annum shall begin to accrue on the Assessment for a Lot once final plats are recorded, or until the Assessment is paid in full. As described above, final plats have been recorded for 258 Lots through January 31, 2018. As a result, there are 258 lots that are subject to the Annual Installments to be collected for 2018-19. These Annual Installments shall be billed by the City in 2018 and will be delinquent on February 1, 2019.

Table B-3 on the following page shows the amount of Assessments applicable to the 258 platted Lots pursuant to the Assessment per Lot calculated and shown for each Lot Type in the Service and Assessment Plan.

**Table B-3**  
**Assessments on Platted Lots**

<b>Lot Type</b>	<b>Total No. of Platted Units</b>	<b>Equivalent Unit Factor</b>	<b>Total Equivalent Units</b>	<b>Total Assessment per Lot Type</b>	<b>Total Assessments</b>
Lot Type 1	153	1.00	153.00	\$31,245.38	\$4,780,542.54
Lot Type 2	64	1.20	76.80	\$37,494.45	\$2,399,644.88
Lot Type 3	15	1.30	19.50	\$40,618.99	\$609,284.83
Lot Type 4	19	1.40	26.60	\$43,743.53	\$831,127.00
Lot Type 5	7	1.60	11.20	\$49,992.60	\$349,948.21
<b>Total</b>	<b>258</b>		<b>287.10</b>		<b>\$8,970,547.47</b>

Pursuant to the Service and Assessment Plan, the Assessment Roll shall show the remaining balance of the Assessments and the Annual Installment due for 2018-19 to be collected from each Parcel. Administrative Expenses are allocated to each Parcel based on the Equivalent Units for each Parcel. Each Annual Installment shall be reduced by any funds available, such as interest earnings on any account balances and by any other funds available to the PID.

Annual Budget for the Repayment of Indebtedness

Debt service will be paid on the Reimbursement Agreement from the collection of the Annual Installments. In addition, Administrative Expenses are to be collected with the Annual Installments to pay expenses related to the collection of the Annual Installments and other PID management and administrative activities.

Annual Installments to be Collected for 2018-19

The budget for the PID to be collected for 2018-19 is shown by Table B-4 below.

**Table B-4**  
**Budget for the Annual Installments**  
**to be Collected for 2018-19**

<b>Descriptions</b>	<b>Total</b>
Interest due on unpaid Assessments	\$585,777
Principal due	\$0
<i>Subtotal debt service on the Reimbursement Agreement</i>	<i>\$585,777</i>
Annual Administrative Expenses	\$47,938
<i>Subtotal Expenses</i>	<i>\$633,714</i>
Available Annual Collection Costs	\$0
Available Annual Administrative Costs	\$0
Other funds available	\$0
Subtotal available funds	\$0
<b>Annual Installments</b>	<b>\$633,714</b>

As shown in Table B-4 on the previous page, the total Annual Installment for 2018-19 is equal to \$633,714. The total debt service payments on the Reimbursement Agreement is equal to \$585,777, which represents interest due on the Assessments on the platted Lots shown in Table B-3 ( $\$8,970,547.47 \times 6.53\% = \$585,777$ ). There is no principal amount to be collected for 2018-19 and the Administrative Expenses for 2018-19 are estimated to be \$47,938.

As shown in Table B-3 within this report, the total Equivalent Units for the 258 platted Lots is equal to 287.10. As a result, the 2018-19 Annual Installment per Equivalent Unit is equal to \$2,207.30 ( $\$633,714 \div 287.10 = \$2,207.30$ ). The 2018-19 Annual Installments to be collected from each Lot Type are calculated by multiplying the Annual Installment per Equivalent Unit by the Equivalent Unit Factors for each Lot Type as shown in Table B-5 below.

**Table B-5**  
**Annual Installment per Lot Type**

<b>Lot Type</b>	<b>Annual Installment per EU</b>	<b>EU Factor</b>	<b>Annual Installment per Unit</b>
1	\$2,207.30	1.00	\$2,207.30
2	\$2,207.30	1.20	\$2,648.75
3	\$2,207.30	1.30	\$2,869.48
4	\$2,207.30	1.40	\$3,090.21
5	\$2,207.30	1.60	\$3,531.67

The list of Parcels within PID, the Lot Types, the corresponding Equivalent Units, the total Assessments for each Parcel, and the Annual Installment to be collected for 2018-19 are shown in the Assessment Roll summary attached hereto as Appendix C.

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### ***C. UPDATE OF THE ASSESSMENT PLAN***

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The Service and Assessment Plan adopted by the City Council provided that the costs of the Authorized Improvements shall be allocated to the Assessed Property within the PID based on the Equivalent Units of the residential dwelling units anticipated to be built on each Parcel once such property is fully developed, and that such method of allocation will result in the imposition of equal shares of costs of the Authorized Improvements to Parcels similarly benefited.

Pursuant to Section VI.F of the Service and Assessment Plan, “Calculation of the Assessments and the first Annual Installment for a Lot or Parcel shall begin as of September 1<sup>st</sup>. Annual Installments shall be due by each January 31<sup>st</sup> following the one-year anniversary of the final plat approval for that Lot or Parcel.”

According to the Developer and the project engineer, final plats were recorded for 52 Lots in the eastern section of the PID referred to as “Lakewood Hills East Addition, Phase I” on June 16, 2017.

Based on the above provision regarding the collection of the Assessments or the Annual Installments (if such Assessments are not paid in full), the first Annual Installments on the 52 platted Lots shall begin as of September 1, 2018 and shall be due by January 31, 2019.

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## ***D. UPDATE OF THE ASSESSMENT ROLL***

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Pursuant to the original Service and Assessment Plan, the Assessment Roll shall be updated each year.

The Assessment Roll summary is shown in Appendix C. Each Parcel in PID is identified, along with the Assessment on each Parcel and the Annual Installment to be collected from each Parcel. Assessments are to be reallocated for the subdivision of any Parcels.

### **I. PARCEL UPDATES**

According to the Service and Assessment Plan, upon the subdivision of any Parcel, the Administrator shall reallocate the Assessment for the Parcel prior to the subdivision among the new subdivided Parcels using the formula shown in the Service and Assessment Plan. Such formula is updated as follows in order to account for potential multiple lot subdivisions:

$$A = B \times (C \div D)$$

Where the terms have the following meanings:

- A = the Assessment for each new subdivided Parcel
- B = the Assessment for the Parcel prior to subdivision
- C = the estimated number of Equivalent Units to be built on each newly subdivided Parcel
- D = the sum of the estimated number of Equivalent Units to be built on all of the new subdivided Parcels

The calculation of the estimated number of Equivalent Units to be built on a Parcel shall be performed by the Administrator and confirmed by the City Council based on the information available regarding the use of the Parcel. The estimate as confirmed shall be conclusive. The number of units to be built on a Parcel may be estimated by net land area and reasonable density ratios. The Assessments for subdivided Parcels in accordance with this section will be determined by the Administrator and recommended to and approved by the City Council in an Annual Service Plan Update.

According to the Developer, the project engineer and Denton Central Appraisal District (the “DCAD”) online records, there were two final plats recorded for 206 new Lots in the PID through January 30, 2016. According to the engineer, the new Parcels were subdivided from Parcels 20186, 528014, 17582 and 528012. The total Equivalent Units originally estimated and the total Assessment originally allocated to the four Parcels were 409 and \$12,779,358.82, respectively. The Equivalent Unit for each newly subdivided Lot Type 1 is equal to 1.00. Accordingly, the Assessment reallocated to each newly subdivided Lot Type 1 as calculated using the reallocation formula is equal to \$31,245.38 [ $\$12,779,358.82 \times (1.00 \div 409.00)$ ]. The Assessments are reallocated to each of the other newly subdivided Lot Types in the same manner. The total number of new Lots subdivided by Lot Type, the applicable Equivalent Unit Factor for each newly subdivided Lot Type, the total Equivalent Units for each newly subdivided Lot and the corresponding total Assessment reallocated to each newly platted Lot using the reallocation formula described herein is shown in Table D-1 on the following page.

**Table D-1**  
**Assessment Reallocation after Subdivision of Parcels**

Prior to Subdivision			After Subdivision						
Parcels	Total Equivalent Units	Total Assessments	New Parcels	No. of Units	Lot Type	EU Factor	Total EU	Assessment per Unit	Total Assessments
20186	251.70	\$7,864,461.16	Various	111	1	1.00	111.00	\$31,245.38	\$3,468,236.74
528014	25.00	\$781,134.40	Various	58	2	1.20	69.60	\$37,494.45	\$2,174,678.18
17582	41.40	\$1,293,558.57	Various	12	3	1.30	15.60	\$40,618.99	\$487,427.87
528012	90.90	\$2,840,204.69	Various	19	4	1.40	26.60	\$43,743.53	\$831,127.00
			Various	6	5	1.60	9.60	\$49,992.60	\$299,955.61
			20186				176.60		\$5,517,933.42
<b>Total</b>	<b>409.00</b>	<b>\$12,779,358.82</b>		<b>258</b>			<b>409.00</b>		<b>\$12,779,358.82</b>

Each of the newly subdivided Parcels with the corresponding Lot Type designations, Equivalent Units and Assessment per Parcel amounts are shown in the Assessment Roll summary included herein as Appendix C.

According to the Developer, the project engineer and DCAD online records, there was one final plat recorded for 52 new Lots on June 16, 2017. According to the DCAD online records, the new Parcels were subdivided from Parcel 523333. The total Equivalent Units originally estimated and the total Assessment originally allocated to the Parcel 523333 were 158.70 and \$4,958,641, respectively. The Equivalent Unit for each newly subdivided Lot Type 1 is equal to 1.00. Accordingly, the Assessment reallocated to each newly subdivided Lot Type 1 as calculated using the reallocation formula is equal to \$31,245.38 [ $\$4,958,641.18 \times (1.00 \div 158.70)$ ]. The Assessments are reallocated to each of the other newly subdivided Lot Types in the same manner. The total number of new Lots subdivided by Lot Type, the applicable Equivalent Unit Factor for each newly subdivided Lot Type, the total Equivalent Units for each newly subdivided Lot and the corresponding total Assessment reallocated to each newly platted Lot using the reallocation formula described herein is shown Table D-2 below.

**Table D-2**  
**Assessment Reallocation after Subdivision of Parcels**

Prior to Subdivision			After Subdivision						
Parcels	Total Equivalent Units	Total Assessments	New Parcels	No. of Units	Lot Type	EU Factor	Total EU	Assessment per Unit	Total Assessments
523333	158.70	\$4,958,641.18	Various	42	1	1.00	42.00	\$31,245.38	\$1,312,305.80
			Various	6	2	1.20	7.20	\$37,494.45	\$224,966.71
			Various	3	3	1.30	3.90	\$40,618.99	\$121,896.97
				0	4	1.40	0.00	\$43,743.53	\$0.00
			707154	1	5	1.60	1.60	\$49,992.60	\$49,992.60
			523333				104.40		\$3,249,519.11
<b>Total</b>	<b>158.70</b>	<b>\$4,958,641.18</b>		<b>52</b>			<b>158.70</b>		<b>\$4,958,641.18</b>

Each of the newly subdivided Parcels with the corresponding Lot Type designations, Equivalent Units and Assessment per Parcel amounts are shown in the Assessment Roll summary included herein as Appendix C.

As described herein, collection of the Annual Installments due from these newly subdivided Parcels will commence as of January 31, 2019.

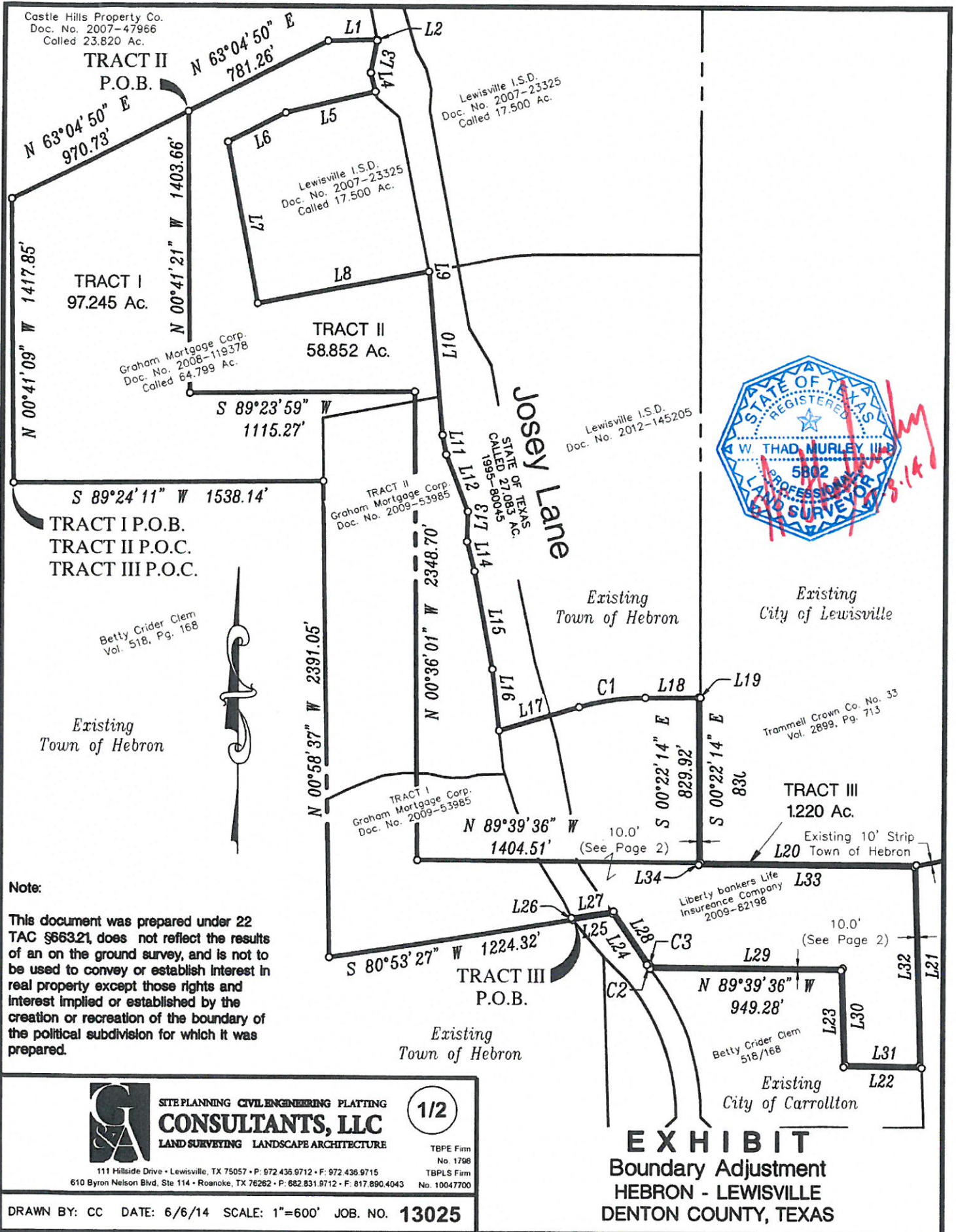
## **II. PREPAYMENT OF ASSESSMENTS**

The list of current Parcels within PID, the corresponding total Assessments and current Annual Installment are shown in the Assessment Roll summary attached hereto as Appendix C.

The complete Assessment Roll is available for review at Lewisville City Hall, located at 151 W. Church St., Lewisville, Texas 75057.

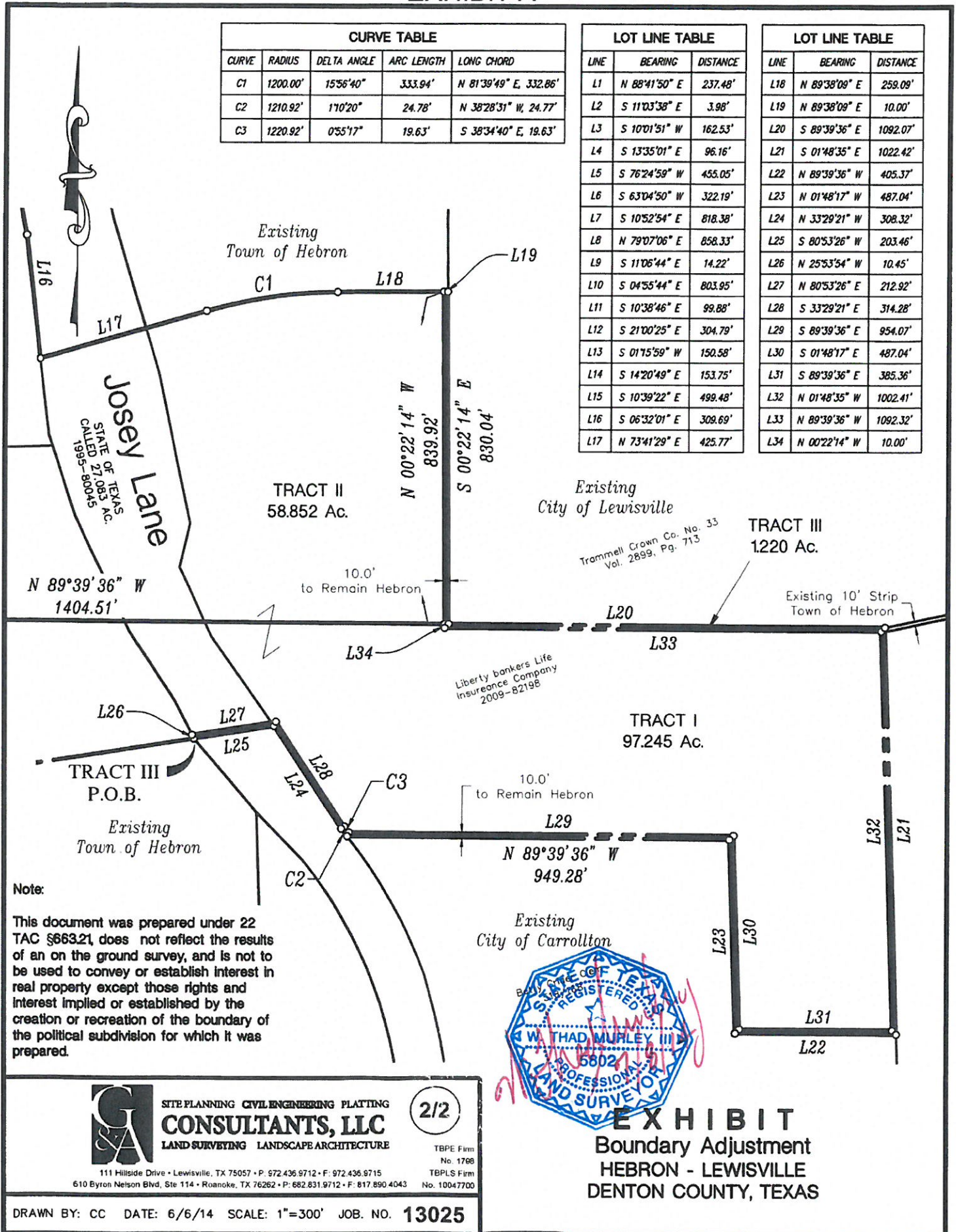
APPENDIX A  
THE PID MAP

# EXHIBIT A





# EXHIBIT A



**APPENDIX B**  
**ESTIMATED COSTS AND DIAGRAMS OF AUTHORIZED IMPROVEMENTS**



SITE PLANNING CIVIL ENGINEERING PLATTING  
**CONSULTANTS, LLC**  
LAND SURVEYING LANDSCAPE ARCHITECTURE

TBPE Firm Number 1798  
TBPLS Firm Number 10047700

**OPINION OF PROBABLE COST**

**for**

**Lakewood Hills PID Budget**

**being 150.646 Acres**

**in the**

**City of Lewisville**

**Denton County, Texas**

**December 2014**



*Robert J. Dollak, Jr.*  
*12/4/14*

**G&A CONSULTANTS, LLC.**  
**TBPE F-1798**



## Lakewood Hills - PID Budget

### Summary

	PID
Offsite 12" Waterline	\$ 1,465,028
Area #1 (Northwestern Pod)	\$ 8,359,703
Area #2 (Southwestern Pod)	\$ 2,356,317
Area #3 (Southeastern Pod)	\$ 4,455,345

	PID
Water	\$ 3,321,000
Sewer	\$ 1,910,000
Storm	\$ 1,657,000
Paving (Includes Perimeter Sidewalks)	\$ 9,750,000
Misc (Fire Station, PID Creation, Etc.)	\$ 1,100,000
Total	\$ 17,738,000

**Lakewood Hills - Offsite Water**

**PID**

Offsite Water	\$ 1,273,937.72
Engineering, Surveying, Construction Management	\$ 191,090.66

TOTAL \$ 1,465,028

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST SHEET 1 OF 3

SHEET 1 OF 3

Project: Josey lane Offsite Waterline Improvements

Development Probable Cost Summary

Project No. 13177 Date: November 26, 2014

Date: November 26, 2014

[illegible]

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TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST SHEET 2 OF 3

SHEET 2 OF 3

Project: Josey lane Offsite Waterline Improvements

### Development Probable Cost Summary

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	12" Waterline (Including Bends and Tees)	LF	10,190	\$ 52.00	\$ 529,880.00
2	8" Waterline(Including Bends and Tees)	LF	600	\$ 35.00	\$ 21,000.00
3	20" Steel Encasement Pipe/Road Bore	LF	240	\$ 400.00	\$ 96,000.00
4	18" Steel Encasement Pipe/Road Bore	LF	600	\$ 350.00	\$ 210,000.00
5	12"x6" Tee; 6" Gate Valve; Fire Hydrant Assembly	EA	13	\$ 4,000.00	\$ 52,000.00
6	Connect to Ex. 16" Waterline	EA	2	\$ 4,000.00	\$ 8,000.00
7	8" Gate Valve	EA	10	\$ 1,200.00	\$ 12,000.00
8	12" Gate Valve	EA	19	\$ 2,400.00	\$ 45,600.00
9	Trench Safety	LF	10,790	\$ 2.00	\$ 21,580.00
10	Traffic Control	LS	1	\$ 50,000.00	\$ 50,000.00
	Total				\$ 1,046,060.00
11	Waterline Testing (assumes 4%)	LS	1	-	\$ 38,979.20
12	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 34,106.80
13	Bonds (assumes 4%)	LS	1	-	\$ 38,979.20
		SHEET SUBTOTAL			\$ 1,158,125.20
		CONST. CONTING. (10%)			\$ 115,812.52
		TOTAL PROJECT COST			\$ 1,273,937.72

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**ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST**

SHEET                      3 OF 3

Project: Josey lane Offsite Waterline Improvements  
Development Probable Cost Summary

Project No. 13177 Date: November 26, 2014

Estimate does not include:  
Mobilization or Insurance

The inspections fee information is based on those items that will be publically maintained.

Inspection fees are based on the cost of improvements, therefore the costs identified above will change based upon the actual costs provided by the contractors.

These tabulation sheets are intended to identify the construction items for the proposed offsite 12" waterline along FM 544 to Josey Lane to the intersection of Josey and Windhaven. Efforts were made to identify all cost items identified with a preliminary utility layout. It is possible that some items have been inadvertently omitted or the quantities may be different than the actual amount depicted in the future construction plans. The Contractor is to review the final construction plans and determine the actual items and quantities that they are bidding.

The bonding information listed above is in line with the Engineer's understanding of typical City bonding requirements. Other types or additional years or percentages may be required by certain cities, contractor is to verify City requirements.

The phasing of the development may change the anticipated quantities or add additional items to the proposed construction not listed above.

**Lakewood Hills - Area #1 (Northwestern Pod)**

**PID**

Water	\$ 1,005,957.84
Sewer	\$ 961,656.58
Storm	\$ 754,446.00
Paving (Includes Perimeter Sidewalks)	\$ 4,932,307.92
Engineering, Surveying, Construction Management	\$ 717,600.00

TOTAL 8,371,968

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ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST SHEET 1 OF 6

1 OF 6

Project: Hebron Residential Subdivision - West of Josey (North) Phase IB - 133 Lots - Area 1

Development Probable Cost Summary

Project No. 13177 Date: November 26, 2014

Date: November 26, 2014

[illegible]

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ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST SHEET 2 OF 6

2 OF 6

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Project: Hebron Residential Subdivision - West of Josey (North) Phase IB - 133 Lots - Area 1

Development Probable Cost Summary - Water

Project No. 13177 Date: November 26, 2014

Date: November 26, 2014

[illegible]



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ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST SHEET 3 OF 6

3 OF 6

100

Project: Hebron Residential Subdivision - West of Josey (North) Phase IB - 133 Lots - Area 1

### Development Probable Cost Summary - Sanitary Sewer

Project No. 13177

Date: November 26, 2014

[illegible]

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TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST SHEET 4 OF 6

4 OF 6

4 OF 6

Project: Hebron Residential Subdivision - West of Josey (North) Phase IB - 133 Lots - Area 1

### Development Probable Cost Summary - Storm

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	18" RCP	LF	1,350	\$ 55.00	\$ 74,250.00
2	24" RCP	LF	975	\$ 65.00	\$ 63,375.00
3	30" RCP	LF	325	\$ 78.00	\$ 25,350.00
4	36" RCP	LF	580	\$ 95.00	\$ 55,100.00
5	5' Curb Inlet	EA	15	\$ 2,600.00	\$ 39,000.00
6	10' Curb Inlet	EA	1	\$ 3,500.00	\$ 3,500.00
7	Junction Boxes/Manholes	EA	5	\$ 5,000.00	\$ 25,000.00
8	Type "B" Headwall on 18" RCP"	EA	1	\$ 3,000.00	\$ 3,000.00
9	Type "B" Headwall on 30" RCP"	EA	1	\$ 3,500.00	\$ 3,500.00
10	Type "B" Headwall on 36" RCP"	EA	1	\$ 4,000.00	\$ 4,000.00
11	Gabions at Outfall	EA	1	\$ 2,000.00	\$ 2,000.00
12	Trench Safety	LF	3,245	\$ 2.00	\$ 6,490.00
	Total				\$ 304,565.00
13	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 10,432.63
14	Bonds (assumes 4%)	LS	1	-	\$ 11,923.00
		<b>SHEET SUBTOTAL</b>			\$ 326,920.63
		<b>CONST. CONTING. (10%)</b>			\$ 32,692.06
		<b>SHEET SUBTOTAL</b>			\$ 359,612.69

**G&A CONSULTANTS, LLC**  
**111 HILLSIDE DRIVE**  
**LEWISVILLE, TEXAS 75057**  
**972-436-9712**  
**TBPE FIRM NO. 1798**

**ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST**

SHEET \_\_\_\_\_ 5 OF 6

Project: Hebron Residential Subdivision - West of Josey (North) Phase IB - 133 Lots - Area 1

Development Probable Cost Summary - Paving

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
<b>Internal Paving</b>					
1	6", 3000 PSI Conc. Pvmt w/ #3 @ 18" o.c.e.w.	SY	20,885	\$ 44.00	\$ 918,940.00
2	6" Stabilized Subgrade	SY	21,930	\$ 5.00	\$ 109,650.00
3	Lime for Stabilization (30#/SY)	TON	330	\$ 200.00	\$ 66,000.00
4	Excavation (Streets)	CY	14,625	\$ 5.00	\$ 73,125.00
5	Sidewalks - Perimeter (4')	SF	6,525	\$ 5.00	\$ 32,625.00
6	ADA Ramps	EA	28	\$ 1,500.00	\$ 42,000.00
7	Erosion Control	LS	1	\$ 26,650.00	\$ 26,650.00
8	Construction Entrance	LS	1	\$ 4,000.00	\$ 4,000.00
9	Screening Wall	LF	1,625	\$ 135.00	\$ 219,375.00
10	Traffic Control	LS	1	\$ 25,000.00	\$ 25,000.00
11	Street ROW Acreage	AC	6.166	\$ 100,000.00	\$ 616,600.00
	Total				\$ 2,133,965.00
12	Testing (assumes 4%)	LS	1		\$ 59,694.60
13	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 52,232.78
14	Bonds (assumes 4%)	LS	1	-	\$ 59,694.60
		SHEET SUBTOTAL			\$ 2,305,586.98
		CONST. CONTING (10%)			\$ 168,898.70
		SHEET SUBTOTAL			\$ 2,474,485.67

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

**ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST**

SHEET \_\_\_\_\_ 6 OF 6

Project: Hebron Residential Subdivision - West of Josey (North) Phase IB - 133 Lots - Area 1  
Development Probable Cost Summary

Project No. 13177

Date: November 26, 2014

Estimate does not include:

- Mobilization or Insurance
- Franchise Utility Installations or Relocations - gas, electric, telephone, street lights, etc.
- Assumption is that all dirt will be from/remain on subject Property - Location to be determined
- Homeowner Association Trails and Open Space Amenities
- Impact Fees
- Lot Benching and Grading
- Lot Retaining Walls

The inspections fee information is based on those items that will be publically maintained.

Inspection fees are based on the cost of improvements, therefore the costs identified above will change based upon the actual costs provided by the contractors.

This estimate assumes that the subgrade treatment is to be lime and not cement stabilized. Actual treatment is to be determined by the Geotech Engineer prior to installation.

These tabulation sheets are intended to identify the construction items for the proposed residential development northeast of the intersection of FM 544 and Josey Lane. Efforts were made to identify all cost items identified with a preliminary lot and utility layout. It is possible that some items have been inadvertently omitted or the quantities may be different than the actual amount depicted in the future construction plans. The Contractor is to review the final construction plans and determine the actual items and quantities that they are bidding.

The bonding information listed above is in line with the Engineer's understanding of typical City bonding requirements. Other types or additional years or percentages may be required by certain cities, contractor is to verify City requirements.

The phasing of the development may change the anticipated quantities or add additional items to the proposed construction not listed above.

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
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TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST SHEET 1 OF 6

1 OF 6

1 OF 6

Project: Hebron Residential Subdivision - West of Josey (North) Phase IIB - 166 Lots - Area I

### Development Probable Cost Summary

Project No. 13177

Date: November 26, 2014

[illegible]

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111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST SHEET 2 OF 6

SHEET 2 OF 6

Project: Hebron Residential Subdivision - West of Josey (North) Phase IIB - 166 Lots - Area I

### Development Probable Cost Summary - Water

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	8" Waterline	LF	6,350	\$ 35.00	\$ 222,250.00
2	Fire Hydrant Assembly (inc. tee, gv, lead)	EA	15	\$ 4,000.00	\$ 60,000.00
3	Connect to Existing 8" Waterline	EA	2	\$ 1,000.00	\$ 2,000.00
4	8" Gate Valve	EA	25	\$ 1,200.00	\$ 30,000.00
5	Single Domestic Service	EA	166	\$ 750.00	\$ 124,500.00
6	Trench Safety	LF	6,350	\$ 2.00	\$ 12,700.00
	Total				\$ 451,450.00
7	Waterline Testing (assumes 4%)	LS	1	-	\$ 17,550.00
8	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 15,356.25
9	Bonds (assumes 4%)	LS	1	-	\$ 17,550.00
		SHEET SUBTOTAL			\$ 501,906.25
		CONST. CONTING. (10%)			\$ 50,190.63
		SHEET SUBTOTAL			\$ 552,096.88

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111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST SHEET 3 OF 6

3 OF 6

Project: Hebron Residential Subdivision - West of Josey (North) Phase IIB - 166 Lots - Area I

Development Probable Cost Summary - Sanitary Sewer

Project No. 13177 Date: November 26, 2014

November 26, 2014

[illegible]

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LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST SHEET 4 OF 6

4 OF 6

4 OF 6

Project: Hebron Residential Subdivision - West of Josey (North) Phase IIB - 166 Lots - Area I

### Development Probable Cost Summary - Storm

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	18" RCP	LF	2,830	\$ 55.00	\$ 155,650.00
2	24" RCP	LF	805	\$ 65.00	\$ 52,325.00
3	30" RCP	LF	50	\$ 78.00	\$ 3,900.00
4	36" RCP	LF	170	\$ 95.00	\$ 16,150.00
5	5' Curb Inlet	EA	22	\$ 2,600.00	\$ 57,200.00
6	10' Curb Inlet	EA	3	\$ 3,500.00	\$ 10,500.00
7	Junction Boxes/Manholes	EA	3	\$ 5,000.00	\$ 15,000.00
8	Type "B" Headwall on 18" RCP	EA	1	\$ 3,000.00	\$ 3,000.00
9	Type "B" Headwall on 24" RCP	EA	2	\$ 3,500.00	\$ 7,000.00
10	Type "B" Headwall on 30" RCP	EA	1	\$ 4,000.00	\$ 4,000.00
11	Gabions at Outfall	EA	1	\$ 2,000.00	\$ 2,000.00
12	Trench Safety	LF	3,855	\$ 2.00	\$ 7,710.00
	Total				\$ 334,435.00
13	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 11,435.38
14	Bonds (assumes 4%)	LS	1	-	\$ 13,069.00
		SHEET SUBTOTAL			\$ 358,939.38
		CONST. CONTING. (10%)			\$ 35,893.94
		SHEET SUBTOTAL			\$ 394,833.31



**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST SHEET 5 OF 6

5 OF 6

5 OF 6

Project: Hebron Residential Subdivision - West of Josey (North) Phase IIB - 166 Lots - Area I

### Development Probable Cost Summary - Paving

Project No. 13177

Date: November 26, 2014

November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
Internal Paving					
1	6", 3000 PSI Conc. Pvmt w/ #3 @ 18" o.c.e.w.	SY	23,815	\$ 44.00	\$ 1,047,860.00
2	6" Stabilized Subgrade	SY	25,015	\$ 5.00	\$ 125,075.00
3	Lime for Stabilization (30#/SY)	TON	375	\$ 200.00	\$ 75,000.00
4	Excavation (Streets)	CY	16,680	\$ 5.00	\$ 83,400.00
5	ADA Ramps	EA	29	\$ 1,500.00	\$ 43,500.00
6	Erosion Control	LS	1	\$ 33,250.00	\$ 33,250.00
7	Construction Entrance	LS	1	\$ 4,000.00	\$ 4,000.00
8	Street ROW Acreage	AC	7.259	\$ 100,000.00	\$ 725,900.00
	Total				\$ 2,137,985.00
9	Testing (assumes 4%)	LS	1	-	\$ 56,483.40
10	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 49,422.98
11	Bonds (assumes 4%)	LS	1	-	\$ 56,483.40
		SHEET SUBTOTAL			\$ 2,300,374.78
		CONST. CONTING (10%)			\$ 157,447.48
		SHEET SUBTOTAL			\$ 2,457,822.25

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

**ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST**

SHEET                      6 OF 6

Project: Hebron Residential Subdivision - West of Josey (North) Phase IIB - 166 Lots - Area I  
Development Probable Cost Summary

Project No. 13177 Date: November 26, 2014

Estimate does not include:

- Mobilization or Insurance
- Franchise Utility Installations or Relocations - gas, electric, telephone, street lights, etc.
- Assumption is that all dirt will be from/remain on subject Property - Location to be determined
- Homeowner Association Trails and Open Space Amenities
- Impact Fees
- Lot Benching and Grading
- Lot Retaining Walls

The inspections fee information is based on those items that will be publically maintained.

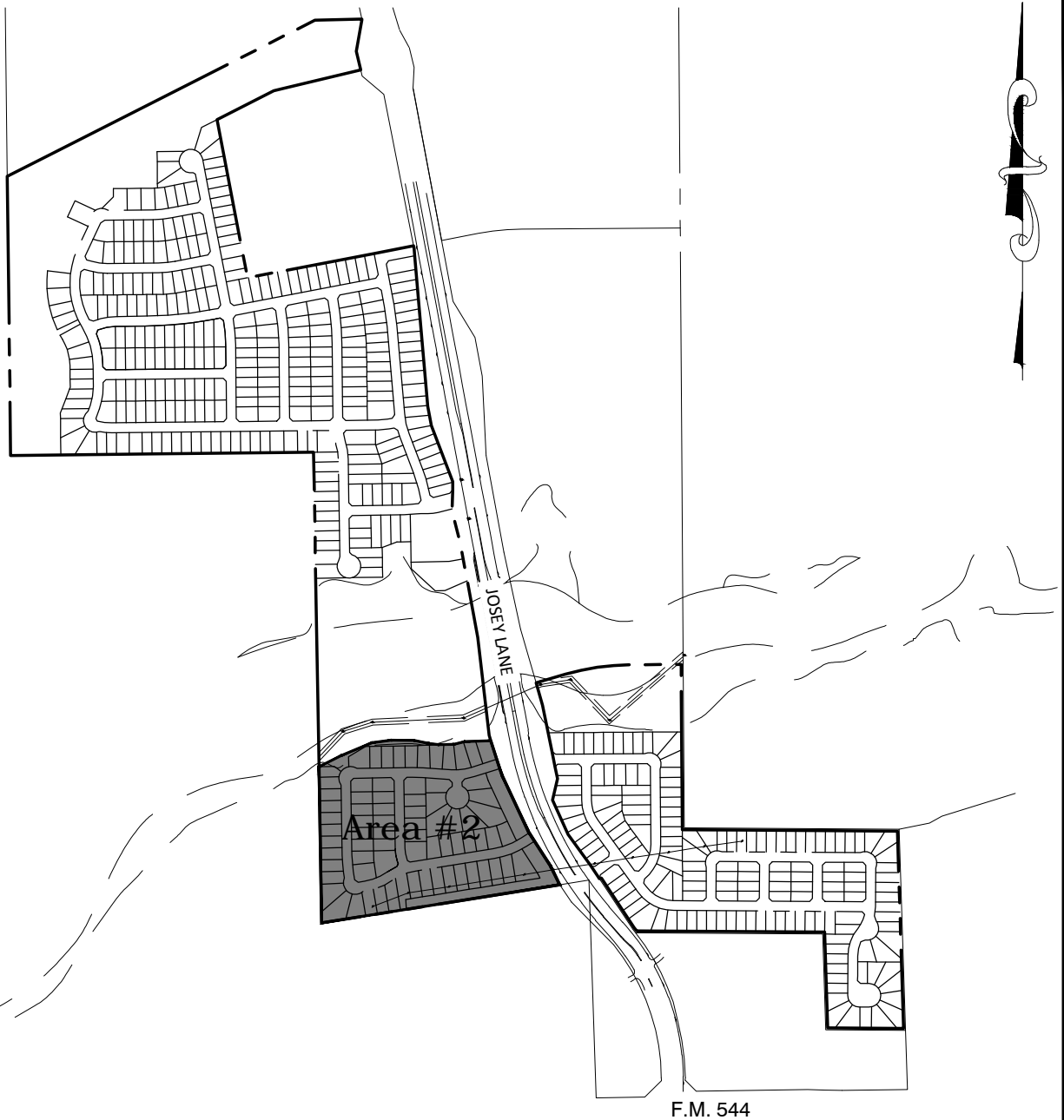
Inspection fees are based on the cost of improvements, therefore the costs identified above will change based upon the actual costs provided by the contractors.

This estimate assumes that the subgrade treatment is to be lime and not cement stabilized. Actual treatment is to be determined by the Geotech Engineer prior to installation.

These tabulation sheets are intended to identify the construction items for the proposed residential development northeast of the intersection of FM 544 and Josey Lane. Efforts were made to identify all cost items identified with a preliminary lot and utility layout. It is possible that some items have been inadvertently omitted or the quantities may be different than the actual amount depicted in the future construction plans. The Contractor is to review the final construction plans and determine the actual items and quantities that they are bidding.

The bonding information listed above is in line with the Engineer's understanding of typical City bonding requirements. Other types or additional years or percentages may be required by certain cities, contractor is to verify City requirements.

The phasing of the development may change the anticipated quantities or add additional items to the proposed construction not listed above.



F.M. 544

IMPROVEMENT AREA #2  
LAKEWOOD HILLS  
CITY OF LEWISVILLE  
DENTON COUNTY, TEXAS



SITE PLANNING CIVIL ENGINEERING PLATTING  
**CONSULTANTS, LLC**  
LAND SURVEYING LANDSCAPE ARCHITECTURE

111 Hillside Drive • Lewisville, TX 75057 • P: 972.436.9712 • F: 972.436.9715  
610 Byron Nelson Blvd, Ste 114 • Roanoke, TX 76262 • P: 682.831.9712 • F: 817.890.4043

TBPE Firm  
No. 1798

TBPLS Firm  
No. 10047700

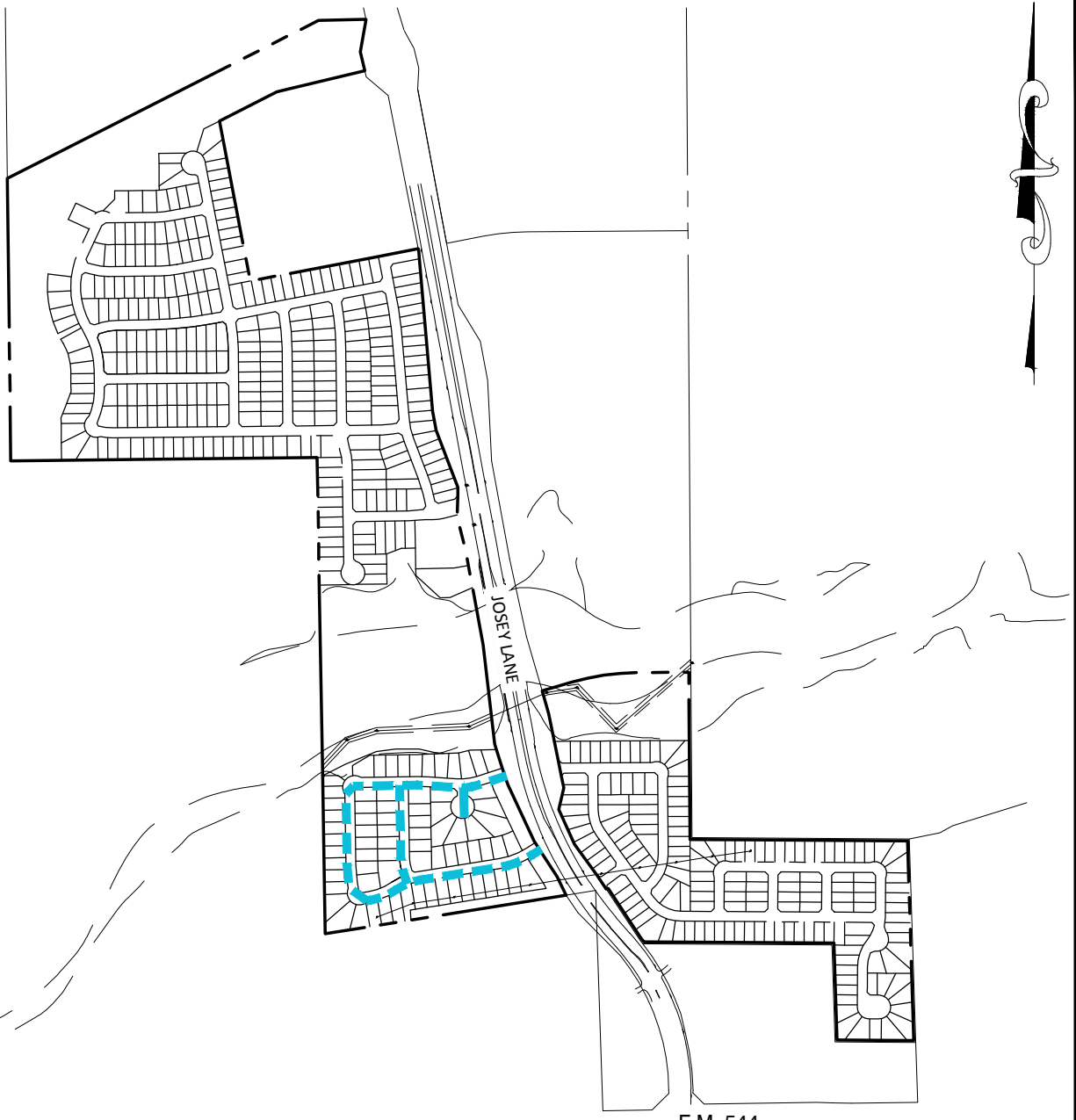
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Lakewood Hills - Area #2 (Southwestern Pod)

PID

Water	\$ 249,935.26
Sewer	\$ 257,702.50
Storm	\$ 280,682.05
Paving (Includes Perimeter Sidewalks)	\$ 1,392,797.42
Engineering, Surveying, Construction Management	\$ 175,200.00

TOTAL 2,356,317



F.M. 544

## EXHIBIT A

### AREA #2

## WATER IMPROVEMENTS LAKEWOOD HILLS

CITY OF LEWISVILLE  
DENTON COUNTY, TEXAS



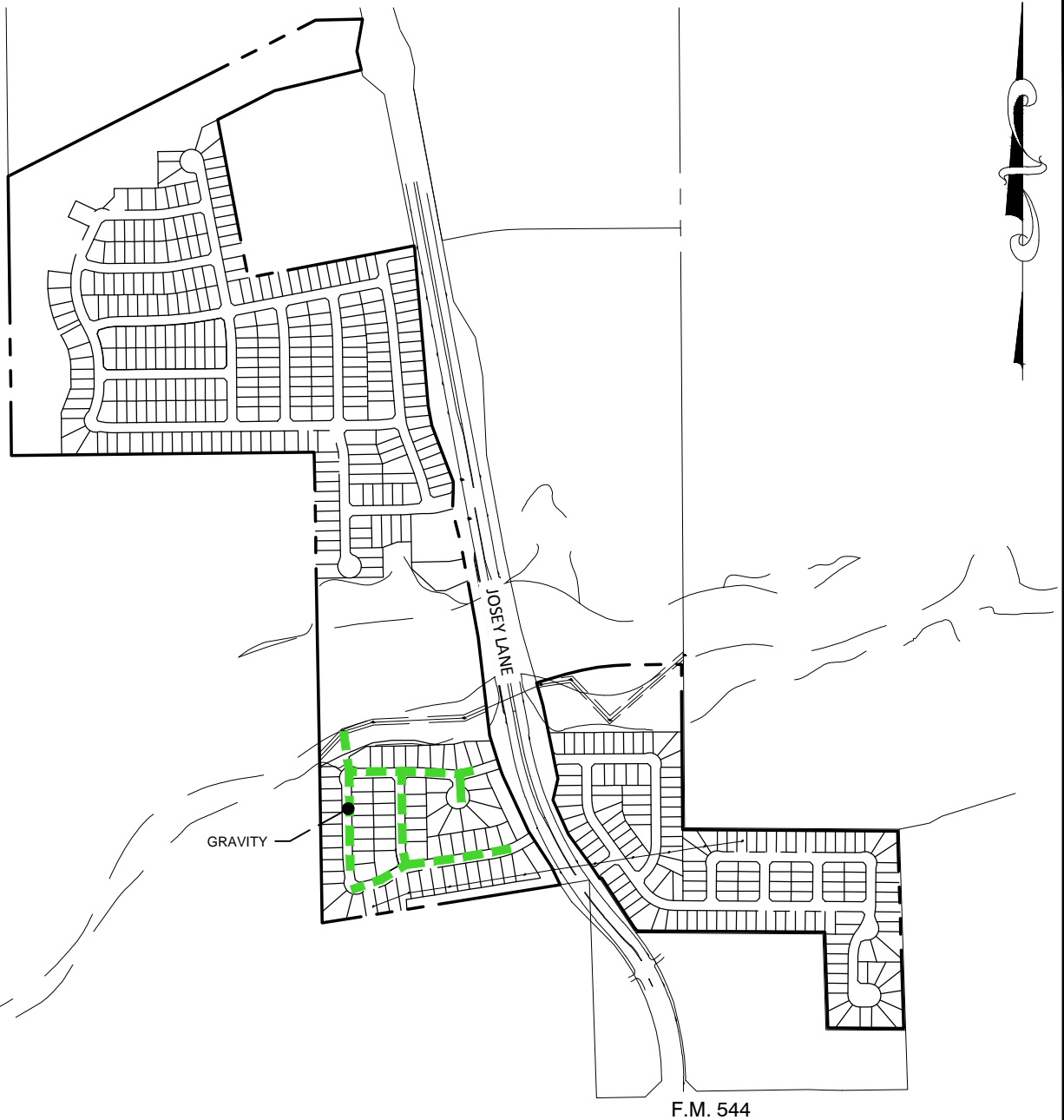
**SITE PLANNING CIVIL ENGINEERING PLATTING**  
**CONSULTANTS, LLC**  
**LAND SURVEYING LANDSCAPE ARCHITECTURE**

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TBPE Firm  
No. 1798

TBPLS Firm  
No. 10047700

DRAWN BY: MP DATE: 10/07/2014 SCALE: 1"=800' JOB. NO. **13177**



F.M. 544

## EXHIBIT A

### AREA #2

## SEWER IMPROVEMENTS LAKEWOOD HILLS

CITY OF LEWISVILLE  
DENTON COUNTY, TEXAS



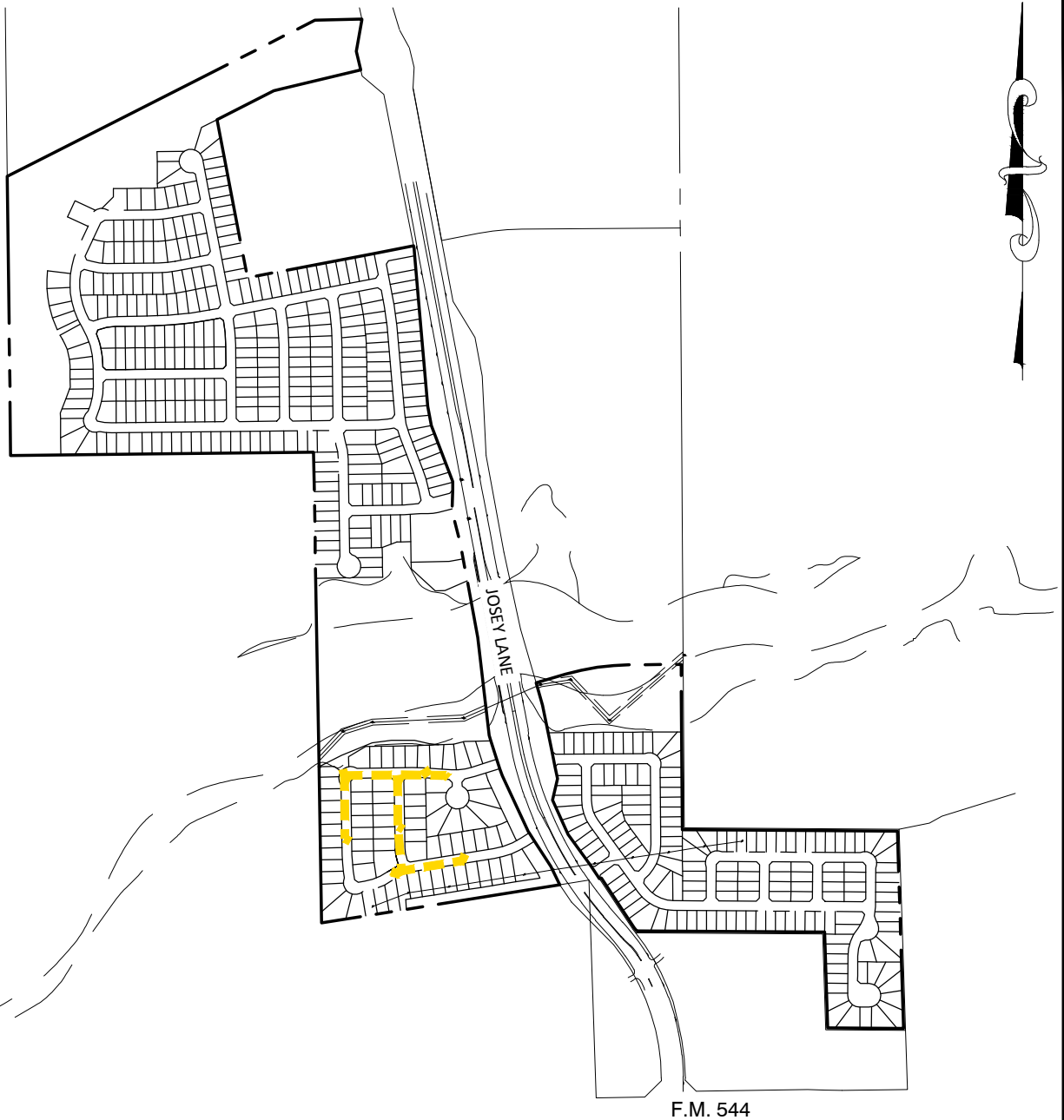
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**CONSULTANTS, LLC**  
**LAND SURVEYING LANDSCAPE ARCHITECTURE**

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No. 1798

TBPLS Firm  
No. 10047700

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F.M. 544

## EXHIBIT A

### AREA #2

## STORM IMPROVEMENTS LAKEWOOD HILLS

CITY OF LEWISVILLE  
DENTON COUNTY, TEXAS



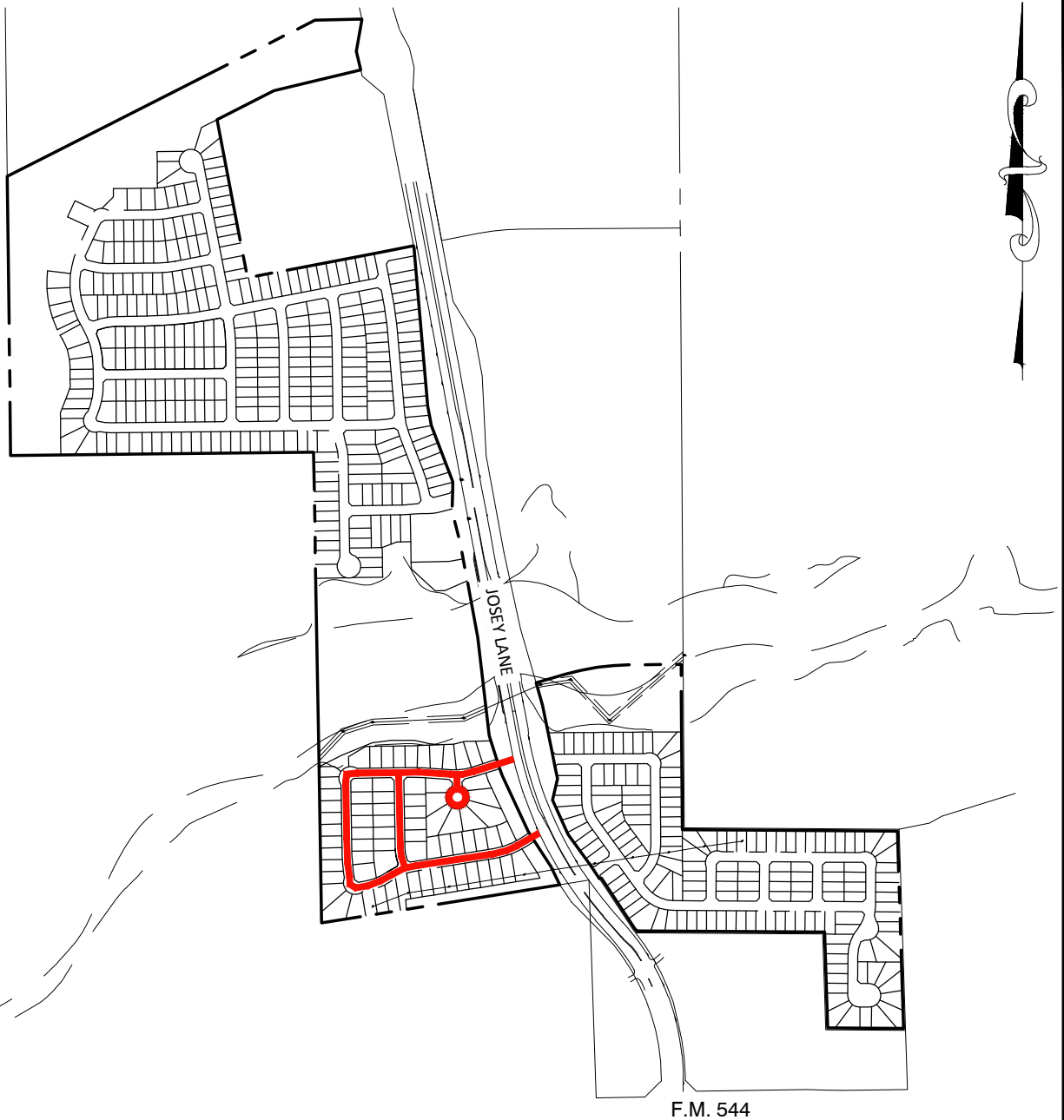
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**CONSULTANTS, LLC**  
**LAND SURVEYING LANDSCAPE ARCHITECTURE**

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TBPE Firm  
No. 1798

TBPLS Firm  
No. 10047700

DRAWN BY: MP DATE: 10/07/2014 SCALE: 1"=800' JOB. NO. **13177**



F.M. 544

## EXHIBIT A

### AREA #2

## PAVEMENT IMPROVEMENTS

## LAKEWOOD HILLS

CITY OF LEWISVILLE

DENTON COUNTY, TEXAS



**SITE PLANNING CIVIL ENGINEERING PLATTING**  
**CONSULTANTS, LLC**  
**LAND SURVEYING LANDSCAPE ARCHITECTURE**

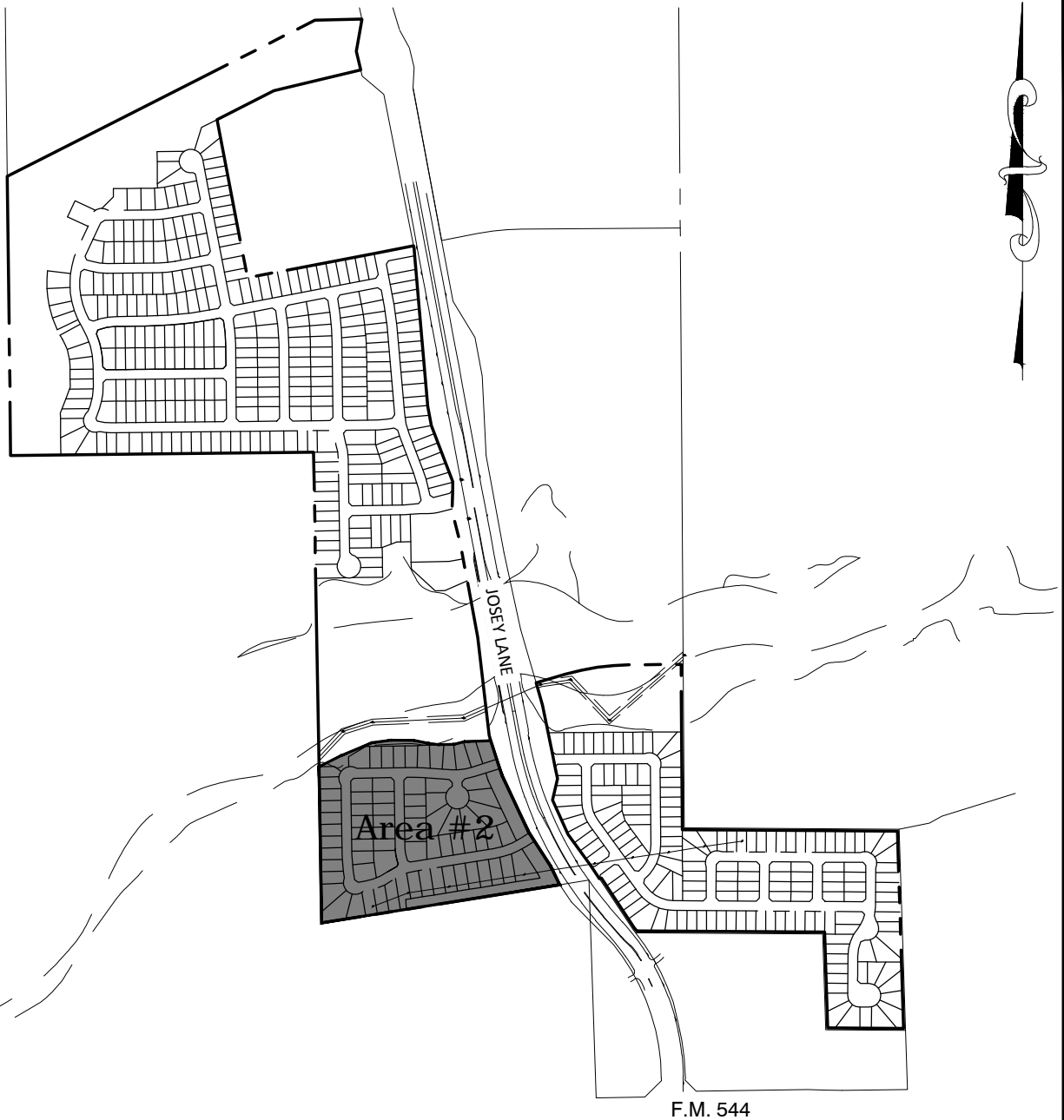
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TBPE Firm  
 No. 1798

TBPLS Firm  
 No. 10047700

DRAWN BY: MP DATE: 10/07/2014 SCALE: 1"=800' JOB. NO. **13177**





F.M. 544

**EXHIBIT A**  
**PID COST ESTIMATE**  
**LIMITS OF GRADING**  
**LAKEWOOD HILLS**  
**CITY OF LEWISVILLE**  
**DENTON COUNTY, TEXAS**



**SITE PLANNING CIVIL ENGINEERING PLATTING**  
**CONSULTANTS, LLC**  
**LAND SURVEYING LANDSCAPE ARCHITECTURE**

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TBPE Firm  
 No. 1798

TBPLS Firm  
 No. 10047700

DRAWN BY: MP DATE: 10/07/2014 SCALE: 1"=800' JOB. NO. **13177**

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST SHEET 1 OF 6

1 OF 6

Project: Hebron Residential Subdivison - West of Josey (South) - Phase IC - 73 Lots - Area II

### Development Probable Cost Summary

Project No. 13177 Date: November 26, 2014

Date: November 26, 2014

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**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST	SHEET <span style="float: right;">2 OF 6</span>
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SHEET 2 OF 6

Project: Hebron Residential Subdivision - West of Josey (South) - Phase IC - 73 Lots - Area II

### Development Probable Cost Summary - Water

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	8" Waterline	LF	2,985	\$ 35.00	\$ 104,475.00
2	Fire Hydrant Assembly (inc. tee, gv, lead)	EA	6	\$ 4,000.00	\$ 24,000.00
3	Connect to Existing 8" Waterline	EA	2	\$ 2,000.00	\$ 4,000.00
4	8" Gate Valve	EA	6	\$ 1,200.00	\$ 7,200.00
5	Single Domestic Service	EA	73	\$ 750.00	\$ 54,750.00
6	Irrigation Taps and Meters	EA	2	\$ 2,000.00	\$ 4,000.00
7	Trench Safety	LF	2,985	\$ 2.00	\$ 5,970.00
	Total				\$ 204,395.00
8	Waterline Testing (assumes 4%)	LS	1	-	\$ 7,937.00
9	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 6,944.88
10	Bonds (assumes 4%)	LS	1	-	\$ 7,937.00
		SHEET SUBTOTAL			\$ 227,213.88
		CONST. CONTING. (10%)			\$ 22,721.39
		SHEET SUBTOTAL			\$ 249,935.26

**G&A CONSULTANTS, LLC**  
**111 HILLSIDE DRIVE**  
**LEWISVILLE, TEXAS 75057**  
**972-436-9712**  
**TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST	SHEET <span style="float: right;">3 OF 6</span>
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SHEET 3 OF 6

Project: Hebron Residential Subdivision - West of Josey (South) - Phase IC - 73 Lots - Area II

### Development Probable Cost Summary - Sanitary Sewer

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	8" Sanitary Sewer	LF	2,850	\$ 35.00	\$ 99,750.00
2	4' Sanitary Sewer Manhole	EA	12	\$ 4,000.00	\$ 48,000.00
3	Sanitary Service	EA	73	\$ 750.00	\$ 54,750.00
4	Connection to Existing Manhole	EA	1	\$ 2,500.00	\$ 2,500.00
5	Trench Safety	LF	2,850	\$ 2.00	\$ 5,700.00
	Total				\$ 210,700.00
6	Sanitary Sewer Testing (assumes 4%)	LS	1	-	\$ 8,200.00
7	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 7,175.00
8	Bonds (assumes 4%)	LS	1	-	\$ 8,200.00
		SHEET SUBTOTAL			\$ 234,275.00
		CONST. CONTING. (10%)			\$ 23,427.50
		SHEET SUBTOTAL			\$ 257,702.50

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST SHEET 4 OF 6

SHEET 4 OF 6

Project: Hebron Residential Subdivision - West of Josey (South) - Phase IC - 73 Lots - Area II

### Development Probable Cost Summary - Storm

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	18" RCP	LF	485	\$ 55.00	\$ 26,675.00
2	21" RCP	LF	555	\$ 60.00	\$ 33,300.00
3	24" RCP	LF	250	\$ 65.00	\$ 16,250.00
4	30" RCP	LF	455	\$ 78.00	\$ 35,490.00
5	33" RCP	LF	30	\$ 90.00	\$ 2,700.00
6	36" RCP	LF	275	\$ 95.00	\$ 26,125.00
7	42" RCP	LF	220	\$ 125.00	\$ 27,500.00
8	5' Curb Inlet	EA	11	\$ 2,600.00	\$ 28,600.00
9	10' Curb Inlet	EA	5	\$ 3,500.00	\$ 17,500.00
10	Junction Boxes/Manholes	EA	3	\$ 5,000.00	\$ 15,000.00
11	Gabions at Outfall	EA	2	\$ 2,000.00	\$ 4,000.00
12	Trench Safety	LF	2,270	\$ 2.00	\$ 4,540.00
	Total				\$ 237,680.00
13	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 8,159.90
14	Bonds (assumes 4%)	LS	1	-	\$ 9,325.60
		SHEET SUBTOTAL			\$ 255,165.50
		CONST. CONTING. (10%)			\$ 25,516.55
		SHEET SUBTOTAL			\$ 280,682.05

**G&A CONSULTANTS, LLC**  
**111 HILLSIDE DRIVE**  
**LEWISVILLE, TEXAS 75057**  
**972-436-9712**  
**TBPE FIRM NO. 1798**

**ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST**

SHEET                      5 OF 6

Project: Hebron Residential Subdivison - West of Josey (South) - Phase IC - 73 Lots - Area II

Development Probable Cost Summary - Paving

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
<b>Internal Paving</b>					
1	6", 3000 PSI Conc. Pvmt w/ #3 @ 18" o.c.e.w.	SY	11,565	\$ 44.00	\$ 508,860.00
2	6" Stabilized Subgrade	SY	12,900	\$ 5.00	\$ 64,500.00
3	Lime for Stabilization (30#/SY)	TON	194	\$ 200.00	\$ 38,700.00
4	Excavation (Streets)	CY	8,600	\$ 5.00	\$ 43,000.00
5	Sidewalks - Perimeter (4')	SF	5,045	\$ 5.00	\$ 25,225.00
6	ADA Ramps	EA	17	\$ 1,500.00	\$ 25,500.00
7	Erosion Control	LS	1	\$ 14,750.00	\$ 14,750.00
8	Construction Entrance	LS	1	\$ 4,000.00	\$ 4,000.00
9	Screening Wall	LF	745	\$ 135.00	\$ 100,575.00
10	Traffic Control	LS	1	\$ 25,000.00	\$ 25,000.00
11	Street ROW Acreage	AC	3.533	\$ 100,000.00	\$ 353,300.00
	Total				\$ 1,203,410.00
12	Testing (assumes 4%)	LS	1	-	\$ 33,004.40
13	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 28,878.85
14	Bonds (assumes 4%)	LS	1	-	\$ 33,004.40
		SHEET SUBTOTAL			\$ 1,298,297.65
		CONST. CONTING (10%)			\$ 94,499.77
		SHEET SUBTOTAL			\$ 1,392,797.42

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

**ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST**

SHEET \_\_\_\_\_ 6 OF 6

Project: Hebron Residential Subdivision - West of Josey (South) - Phase IC - 73 Lots - Area II  
Development Probable Cost Summary

Project No. 13177 Date: November 26, 2014

Estimate does not include:

- Mobilization or Insurance
- Franchise Utility Installations or Relocations - gas, electric, telephone, street lights, etc.
- Assumption is that all dirt will be from/remain on subject Property - Location to be determined
- Homeowner Association Trails and Open Space Amenities
- Impact Fees
- Lot Benching and Grading
- Lot Retaining Walls

The inspections fee information is based on those items that will be publically maintained.

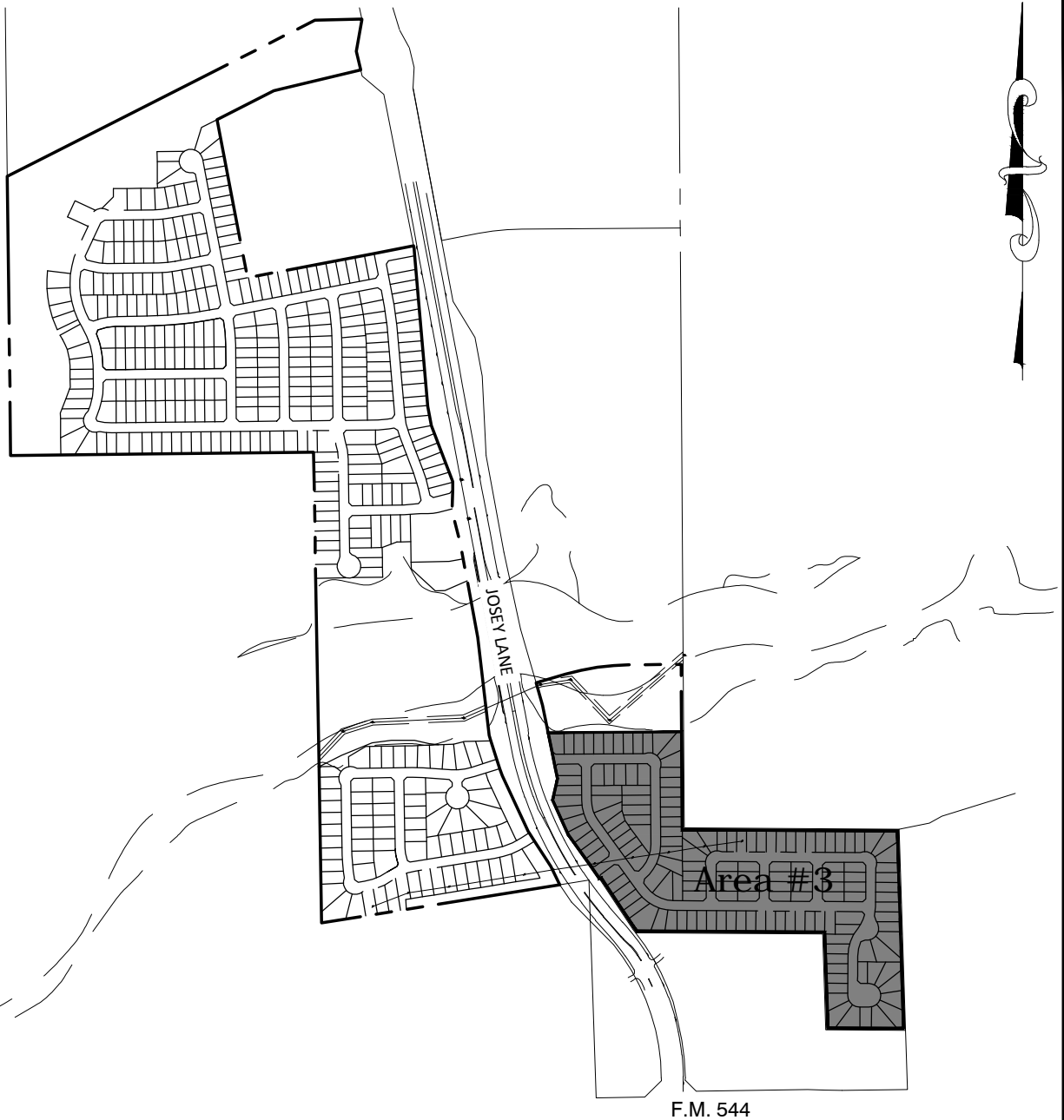
Inspection fees are based on the cost of improvements, therefore the costs identified above will change based upon the actual costs provided by the contractors.

This estimate assumes that the subgrade treatment is to be lime and not cement stabilized. Actual treatment is to be determined by the Geotech Engineer prior to installation.

These tabulation sheets are intended to identify the construction items for the proposed residential development northeast of the intersection of FM 544 and Josey Lane. Efforts were made to identify all cost items identified with a preliminary lot and utility layout. It is possible that some items have been inadvertently omitted or the quantities may be different than the actual amount depicted in the future construction plans. The Contractor is to review the final construction plans and determine the actual items and quantities that they are bidding.

The bonding information listed above is in line with the Engineer's understanding of typical City bonding requirements. Other types or additional years or percentages may be required by certain cities, contractor is to verify City requirements.

The phasing of the development may change the anticipated quantities or add additional items to the proposed construction not listed above.



IMPROVEMENT AREA #3  
 LAKEWOOD HILLS  
 CITY OF LEWISVILLE  
 DENTON COUNTY, TEXAS



SITE PLANNING CIVIL ENGINEERING PLATTING  
**CONSULTANTS, LLC**  
 LAND SURVEYING LANDSCAPE ARCHITECTURE

111 Hillside Drive • Lewisville, TX 75057 • P: 972.436.9712 • F: 972.436.9715  
 610 Byron Nelson Blvd, Ste 114 • Roanoke, TX 76262 • P: 682.831.9712 • F: 817.890.4043

TBPE Firm  
 No. 1798  
 TBPLS Firm  
 No. 10047700

DRAWN BY: MP DATE: 10/07/2014 SCALE: 1"=800' JOB. NO. **13177**

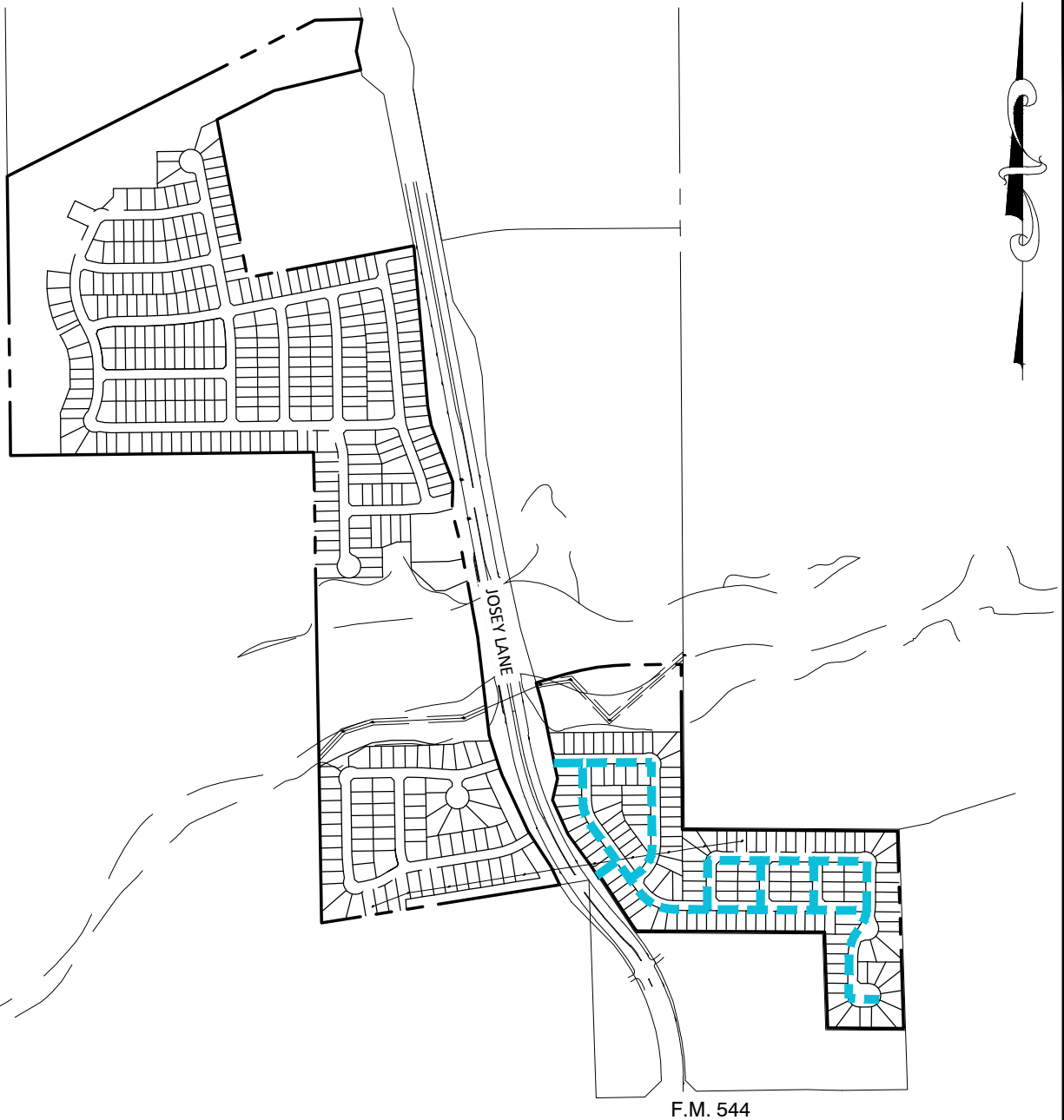


Lakewood Hills - Area #3 (Southeastern Pod)

PID

Water	\$ 465,780.01
Sewer	\$ 495,728.20
Storm	\$ 452,158.99
Paving (Includes Perimeter Sidewalks)	\$ 2,673,487.47
Engineering, Surveying, Construction Management	\$ 367,200.00

TOTAL 4,454,355



F.M. 544

## EXHIBIT A

### AREA #3

## WATER IMPROVEMENTS LAKEWOOD HILLS

CITY OF LEWISVILLE  
DENTON COUNTY, TEXAS



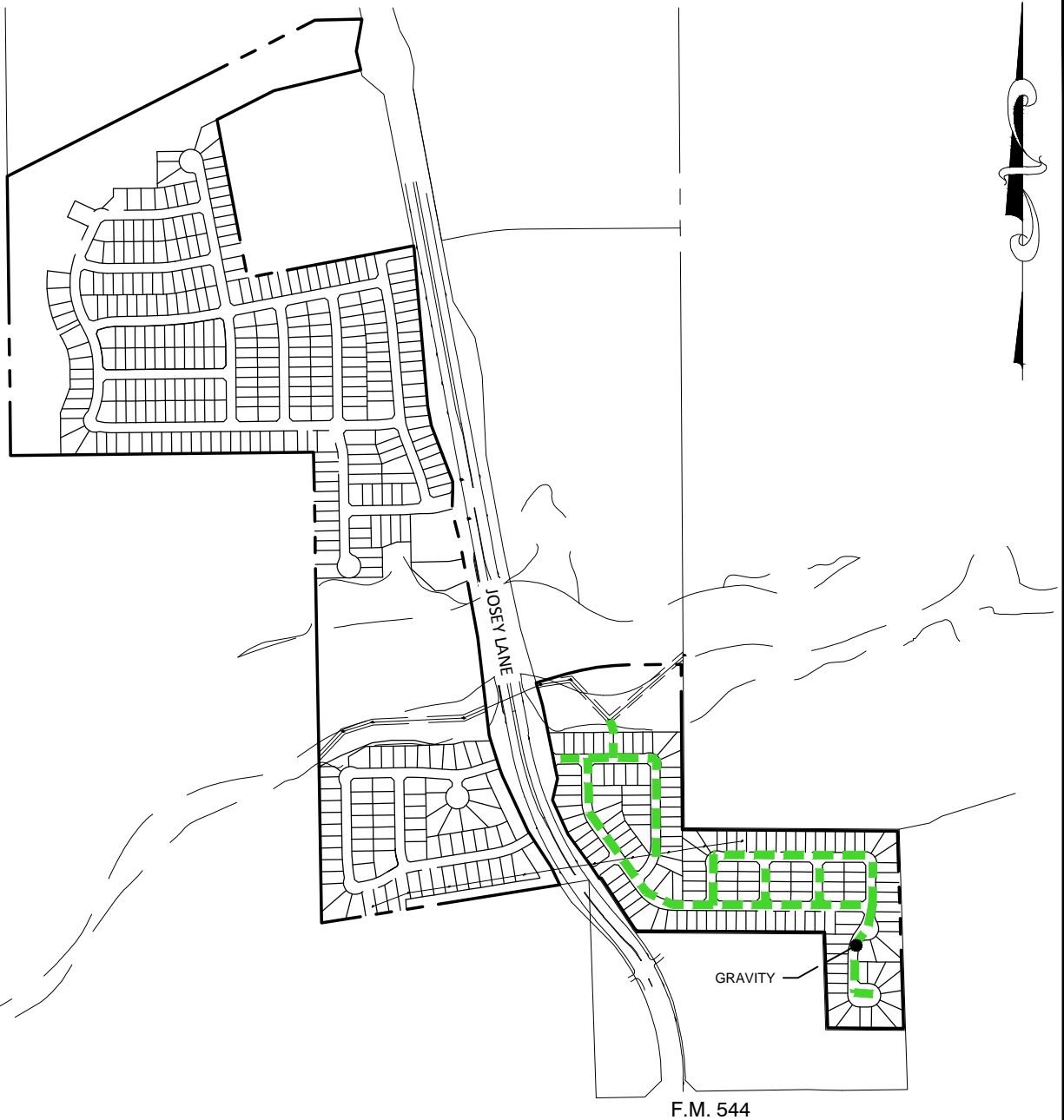
**SITE PLANNING CIVIL ENGINEERING PLATTING**  
**CONSULTANTS, LLC**  
**LAND SURVEYING LANDSCAPE ARCHITECTURE**

111 Hillside Drive • Lewisville, TX 75057 • P: 972.436.9712 • F: 972.436.9715  
610 Byron Nelson Blvd, Ste 114 • Roanoke, TX 76262 • P: 682.831.9712 • F: 817.890.4043

TBPE Firm  
No. 1798

TBPLS Firm  
No. 10047700

DRAWN BY: MP DATE: 10/07/2014 SCALE: 1"=800' JOB. NO. **13177**



**EXHIBIT A**  
**AREA #3**  
**SEWER IMPROVEMENTS**  
**LAKEWOOD HILLS**  
 CITY OF LEWISVILLE  
 DENTON COUNTY, TEXAS

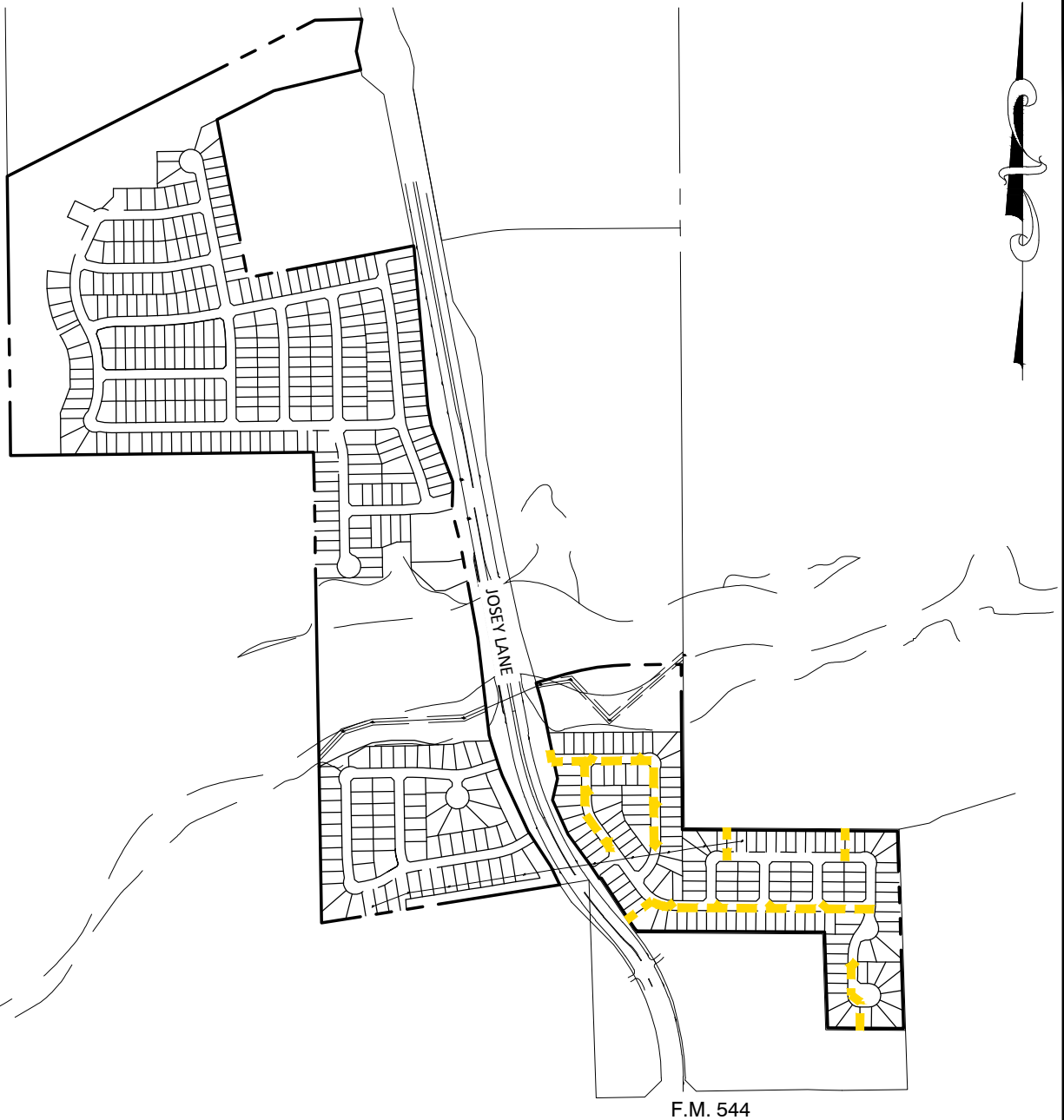


**SITE PLANNING CIVIL ENGINEERING PLATTING**  
**CONSULTANTS, LLC**  
**LAND SURVEYING LANDSCAPE ARCHITECTURE**

111 Hillside Drive • Lewisville, TX 75057 • P: 972.436.9712 • F: 972.436.9715  
 610 Byron Nelson Blvd, Ste 114 • Roanoke, TX 76262 • P: 682.831.9712 • F: 817.890.4043

TBPE Firm  
 No. 1798  
 TBPLS Firm  
 No. 10047700

DRAWN BY: MP    DATE: 10/07/2014    SCALE: 1"=800'    JOB. NO. **13177**



F.M. 544

**EXHIBIT A**  
**AREA #3**  
**STORM IMPROVEMENTS**  
**LAKEWOOD HILLS**  
 CITY OF LEWISVILLE  
 DENTON COUNTY, TEXAS



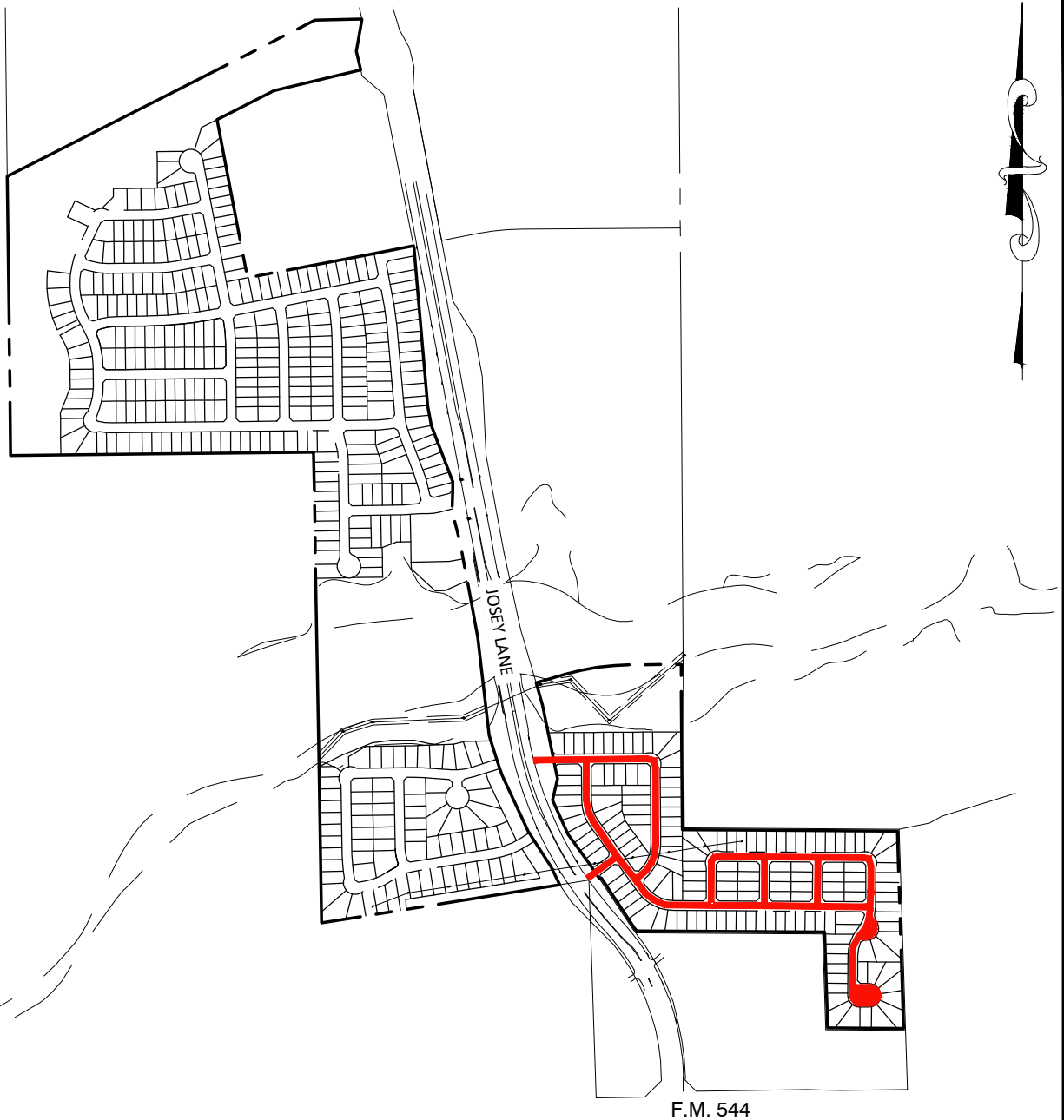
**SITE PLANNING CIVIL ENGINEERING PLATTING**  
**CONSULTANTS, LLC**  
**LAND SURVEYING LANDSCAPE ARCHITECTURE**

111 Hillside Drive • Lewisville, TX 75057 • P: 972.436.9712 • F: 972.436.9715  
 610 Byron Nelson Blvd, Ste 114 • Roanoke, TX 76262 • P: 682.831.9712 • F: 817.890.4043

TBPE Firm  
 No. 1798

TBPLS Firm  
 No. 10047700

DRAWN BY: MP DATE: 10/07/2014 SCALE: 1"=800' JOB. NO. **13177**



F.M. 544

## EXHIBIT A

### AREA #3

## PAVEMENT IMPROVEMENTS LAKEWOOD HILLS

CITY OF LEWISVILLE  
DENTON COUNTY, TEXAS



**SITE PLANNING CIVIL ENGINEERING PLATTING**  
**CONSULTANTS, LLC**  
**LAND SURVEYING LANDSCAPE ARCHITECTURE**

111 Hillside Drive • Lewisville, TX 75057 • P: 972.436.9712 • F: 972.436.9715  
610 Byron Nelson Blvd, Ste 114 • Roanoke, TX 76262 • P: 682.831.9712 • F: 817.890.4043

TBPE Firm  
No. 1798

TBPLS Firm  
No. 10047700

DRAWN BY: MP DATE: 10/07/2014 SCALE: 1"=800' JOB. NO. **13177**

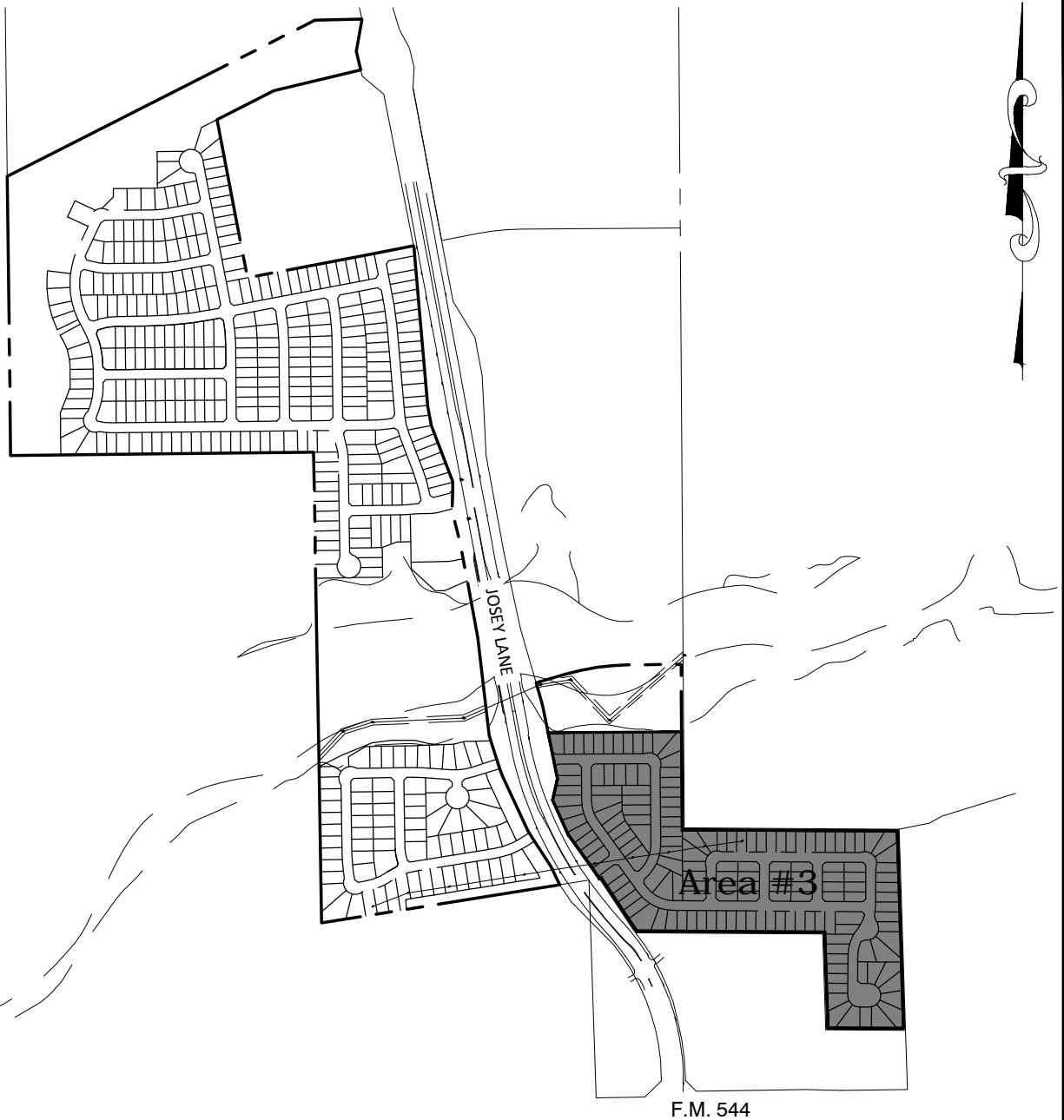


EXHIBIT A  
 PID COST ESTIMATE  
 LIMITS OF GRADING  
 LAKEWOOD HILLS  
 CITY OF LEWISVILLE  
 DENTON COUNTY, TEXAS



**SITE PLANNING CIVIL ENGINEERING PLATTING**  
**CONSULTANTS, LLC**  
 LAND SURVEYING LANDSCAPE ARCHITECTURE

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TBPE Firm  
 No. 1798  
 TBPLS Firm  
 No. 10047700

DRAWN BY: MP DATE: 10/07/2014 SCALE: 1"=800' JOB. NO. **13177**

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST SHEET 1 OF 6

SHEET 1 OF 6

Project: Hebron Residential Subdivision - East of Josey - Phase I - 53 Lots - Area III

### Development Probable Cost Summary

Project No. 13177

Date: November 26, 2014

[illegible]

**G&A CONSULTANTS, LLC**  
**111 HILLSIDE DRIVE**  
**LEWISVILLE, TEXAS 75057**  
**972-436-9712**  
**TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST SHEET 2 OF 6

SHEET 2 OF 6

Project: Hebron Residential Subdivision - East of Josey - Phase I - 53 Lots - Area III

### Development Probable Cost Summary - Water

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	8" Waterline	LF	1,850	\$ 35.00	\$ 64,750.00
2	Fire Hydrant Assembly (inc. tee, gv, lead)	EA	3	\$ 4,000.00	\$ 12,000.00
3	Connect to Existing 8" Waterline	EA	2	\$ 2,000.00	\$ 4,000.00
4	8" Gate Valve	EA	6	\$ 1,200.00	\$ 7,200.00
5	Single Domestic Service	EA	53	\$ 750.00	\$ 39,750.00
6	Irrigation Taps and Meters	EA	1	\$ 2,000.00	\$ 2,000.00
7	Trench Safety	LF	1,850	\$ 2.00	\$ 3,700.00
	Total				\$ 133,400.00
8	Waterline Testing (assumes 4%)	LS	1	-	\$ 5,188.00
9	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 4,539.50
10	Bonds (assumes 4%)	LS	1	-	\$ 5,188.00
		SHEET SUBTOTAL			\$ 148,315.50
		CONST. CONTING. (10%)			\$ 14,831.55
		SHEET SUBTOTAL			\$ 163,147.05



**G&A CONSULTANTS, LLC**  
**111 HILLSIDE DRIVE**  
**LEWISVILLE, TEXAS 75057**  
**972-436-9712**  
**TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST	SHEET <span style="float: right;">3 OF 6</span>
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SHEET 3 OF 6

Project: Hebron Residential Subdivision - East of Josey - Phase I - 53 Lots - Area III

### Development Probable Cost Summary - Sanitary Sewer

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	8" Sanitary Sewer	LF	1,915	\$ 35.00	\$ 67,025.00
2	4' Sanitary Sewer Manhole	EA	7	\$ 4,000.00	\$ 28,000.00
3	Sanitary Service	EA	53	\$ 750.00	\$ 39,750.00
4	Connection to Existing Manhole	EA	1	\$ 2,500.00	\$ 2,500.00
5	Trench Safety	LF	1,915	\$ 2.00	\$ 3,830.00
	Total				\$ 141,105.00
6	Sanitary Sewer Testing (assumes 4%)	LS	1	-	\$ 5,491.00
7	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 4,804.63
8	Bonds (assumes 4%)	LS	1	-	\$ 5,491.00
		SHEET SUBTOTAL			\$ 156,891.63
		CONST. CONTING. (10%)			\$ 15,689.16
		SHEET SUBTOTAL			\$ 172,580.79

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST SHEET 4 OF 6

SHEET 4 OF 6

Project: Hebron Residential Subdivision - East of Josey - Phase I - 53 Lots - Area III

### Development Probable Cost Summary - Storm

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	18" RCP	LF	1,000	\$ 55.00	\$ 55,000.00
2	24" RCP	LF	210	\$ 65.00	\$ 13,650.00
3	30" RCP	LF	120	\$ 78.00	\$ 9,360.00
4	36" RCP	LF	450	\$ 95.00	\$ 42,750.00
5	5' Curb Inlet	EA	8	\$ 2,600.00	\$ 20,800.00
6	10' Curb Inlet	EA	2	\$ 3,500.00	\$ 7,000.00
7	Junction Boxes/Manholes	EA	3	\$ 5,000.00	\$ 15,000.00
8	Type "B" Headwall on 36" RCP	EA	1	\$ 4,000.00	\$ 4,000.00
9	Trench Safety	LF	1,330	\$ 2.00	\$ 2,660.00
	Total				\$ 170,220.00
10	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 5,864.60
11	Bonds (assumes 4%)	LS	1	-	\$ 6,702.40
		SHEET SUBTOTAL			\$ 182,787.00
		CONST. CONTING. (10%)			\$ 18,278.70
		<b>SHEET SUBTOTAL</b>			<b>\$ 201,065.70</b>

**G&A CONSULTANTS, LLC**  
**111 HILLSIDE DRIVE**  
**LEWISVILLE, TEXAS 75057**  
**972-436-9712**  
**TBPE FIRM NO. 1798**

**ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST**

SHEET                      5 OF 6

Project: Hebron Residential Subdivision - East of Josey - Phase I - 53 Lots - Area III

Development Probable Cost Summary - Paving

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
<b>Internal Paving</b>					
1	6", 3000 PSI Conc. Pvmt w/ #3 @ 18" o.c.e.w.	SY	7,850	\$ 44.00	\$ 345,400.00
2	6" Stabilized Subgrade	SY	8,800	\$ 5.00	\$ 44,000.00
3	Lime for Stabilization (30#/SY)	TON	132	\$ 200.00	\$ 26,400.00
4	Excavation (Streets)	CY	5,875	\$ 5.00	\$ 29,375.00
5	Sidewalks - Perimeter (4')	SF	5,960	\$ 5.00	\$ 29,800.00
6	ADA Ramps	EA	15	\$ 1,500.00	\$ 22,500.00
7	Erosion Control	LS	1	\$ 10,750.00	\$ 10,750.00
8	Construction Entrance	LS	1	\$ 4,000.00	\$ 4,000.00
9	Screening Wall	LF	1,480	\$ 135.00	\$ 199,800.00
10	Traffic Control	LS	1	\$ 25,000.00	\$ 25,000.00
11	Street ROW Acreage	AC	2.284	\$ 100,000.00	\$ 228,400.00
	Total				\$ 965,425.00
12	Testing (assumes 4%)	LS	1	-	\$ 28,481.00
13	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 24,920.88
14	Bonds (assumes 4%)	LS	1	-	\$ 28,481.00
		SHEET SUBTOTAL			\$ 1,047,307.88
		CONST. CONTING (10%)			\$ 81,890.79
		SHEET SUBTOTAL			\$ 1,129,198.66

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

**ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST**

SHEET \_\_\_\_\_ 6 OF 6

Project: Hebron Residential Subdivision - East of Josey - Phase I - 53 Lots - Area III

Development Probable Cost Summary

Project No. 13177

Date: November 26, 2014

Estimate does not include:

- Mobilization or Insurance
- Franchise Utility Installations or Relocations - gas, electric, telephone, street lights, etc.
- Assumption is that all dirt will be from/remain on subject Property - Location to be determined
- Homeowner Association Trails and Open Space Amenities
- Impact Fees
- Lot Benching and Grading
- Lot Retaining Walls

The inspections fee information is based on those items that will be publically maintained.

Inspection fees are based on the cost of improvements, therefore the costs identified above will change based upon the actual costs provided by the contractors.

This estimate assumes that the subgrade treatment is to be lime and not cement stabilized. Actual treatment is to be determined by the Geotech Engineer prior to installation.

These tabulation sheets are intended to identify the construction items for the proposed residential development northeast of the intersection of FM 544 and Josey Lane. Efforts were made to identify all cost items identified with a preliminary lot and utility layout. It is possible that some items have been inadvertently omitted or the quantities may be different than the actual amount depicted in the future construction plans. The Contractor is to review the final construction plans and determine the actual items and quantities that they are bidding.

The bonding information listed above is in line with the Engineer's understanding of typical City bonding requirements. Other types or additional years or percentages may be required by certain cities, contractor is to verify City requirements.

The phasing of the development may change the anticipated quantities or add additional items to the proposed construction not listed above.

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST SHEET 1 OF 6

1 OF 6

Project: Hebron Residential Subdivison - East of Josey - Phase IIA - 100 Lots- Area III

### Development Probable Cost Summary

Project No.	<u>13177</u>	Date:	November 26, 2014
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November 26, 2014

[illegible]

**G&A CONSULTANTS, LLC**  
**111 HILLSIDE DRIVE**  
**LEWISVILLE, TEXAS 75057**  
**972-436-9712**  
**TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST SHEET 2 OF 6

SHEET 2 OF 6

Project: Hebron Residential Subdivison - East of Josey - Phase IIA - 100 Lots- Area III

### Development Probable Cost Summary - Water

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	8" Waterline	LF	3,635	\$ 35.00	\$ 127,225.00
2	Fire Hydrant Assembly (inc. tee, gv, lead)	EA	4	\$ 4,000.00	\$ 16,000.00
3	Connect to Existing	EA	1	\$ 2,000.00	\$ 2,000.00
4	8" Gate Valve	EA	10	\$ 1,200.00	\$ 12,000.00
5	Single Domestic Service	EA	100	\$ 750.00	\$ 75,000.00
6	Irrigation Taps and Meters	EA	4	\$ 2,000.00	\$ 8,000.00
7	Trench Safety	LF	3,635	\$ 2.00	\$ 7,270.00
	Total				\$ 247,495.00
8	Waterline Testing (assumes 4%)	LS	1	-	\$ 9,609.00
9	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 8,407.88
10	Bonds (assumes 4%)	LS	1	-	\$ 9,609.00
		SHEET SUBTOTAL			\$ 275,120.88
		CONST. CONTING. (10%)			\$ 27,512.09
		SHEET SUBTOTAL			\$ 302,632.96

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST SHEET 3 OF 6

3 OF 6

3 OF 6

Project: Hebron Residential Subdivison - East of Josey - Phase IIA - 100 Lots- Area III

### Development Probable Cost Summary - Sanitary Sewer

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	8" Sanitary Sewer	LF	3,315	\$ 35.00	\$ 116,025.00
2	Sanitary Sewer Manhole	EA	16	\$ 4,000.00	\$ 64,000.00
3	Sanitary Service	EA	100	\$ 750.00	\$ 75,000.00
4	Connection to Existing Manhole	EA	1	\$ 2,500.00	\$ 2,500.00
5	Trench Safety	LF	3,315	\$ 2.00	\$ 6,630.00
	Total				\$ 264,155.00
6	Sanitary Sewer Testing (assumes 4%)	LS	1	-	\$ 10,301.00
7	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 9,013.38
8	Bonds (assumes 4%)	LS	1	-	\$ 10,301.00
		SHEET SUBTOTAL			\$ 293,770.38
		CONST. CONTING. (10%)			\$ 29,377.04
		SHEET SUBTOTAL			\$ 323,147.41

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST SHEET 4 OF 6

4 OF 6

Project: Hebron Residential Subdivison - East of Josey - Phase IIA - 100 Lots- Area III

Development Probable Cost Summary - Storm

Project No. <u>13177</u>	Date: November 26, 2014
--------------------------	-------------------------

November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
1	18" RCP	LF	800	\$ 55.00	\$ 44,000.00
2	21" RCP	LF	270	\$ 60.00	\$ 16,200.00
3	24" RCP	LF	695	\$ 65.00	\$ 45,175.00
4	27" RCP	LF	325	\$ 72.00	\$ 23,400.00
5	30" RCP	LF	160	\$ 78.00	\$ 12,480.00
6	5' Curb Inlet	EA	10	\$ 2,600.00	\$ 26,000.00
7	10' Curb Inlet	EA	5	\$ 3,500.00	\$ 17,500.00
8	15' Curb Inlet	EA	1	\$ 4,400.00	\$ 4,400.00
9	Junction Boxes/Manholes	EA	3	\$ 5,000.00	\$ 15,000.00
10	Gabions at Outfall	EA	2	\$ 2,000.00	\$ 4,000.00
11	Trench Safety	LF	2,250	\$ 2.00	\$ 4,500.00
	Total				\$ 212,655.00
12	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 7,285.43
13	Bonds (assumes 4%)	LS	1	-	\$ 8,326.20
		SHEET SUBTOTAL			\$ 228,266.63
		CONST. CONTING. (10%)			\$ 22,826.66
		SHEET SUBTOTAL			\$ 251,093.29



**G&A CONSULTANTS, LLC**  
**111 HILLSIDE DRIVE**  
**LEWISVILLE, TEXAS 75057**  
**972-436-9712**  
**TBPE FIRM NO. 1798**

ENGINEER'S PRELIMINARY OPINON OF PROBABLE COST SHEET 5 OF 6

SHEET 5 OF 6

Project: Hebron Residential Subdivison - East of Josey - Phase IIA - 100 Lots- Area III

### Development Probable Cost Summary - Paving

Project No. 13177

Date: November 26, 2014

ITEM NO.	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL COST
Internal Paving					
1	6", 3000 PSI Conc. Pvmt w/ #3 @ 18" o.c.e.w.	SY	14,525	\$ 44.00	\$ 639,100.00
2	6" Stabilized Subgrade	SY	16,050	\$ 5.00	\$ 80,250.00
3	Lime for Stabilization (30#/SY)	TON	241	\$ 200.00	\$ 48,150.00
4	Excavation (Streets)	CY	10,750	\$ 5.00	\$ 53,750.00
5	Sidewalks - Perimeter (4')	SF	400	\$ 5.00	\$ 2,000.00
6	ADA Ramps	EA	24	\$ 1,500.00	\$ 36,000.00
7	Erosion Control	LS	1	\$ 20,250.00	\$ 20,250.00
8	Construction Entrance	LS	1	\$ 4,000.00	\$ 4,000.00
9	Screening Wall	LF	175	\$ 135.00	\$ 23,625.00
10	Street ROW Acreage	AC	4.317	\$ 100,000.00	\$ 431,700.00
	Total				\$ 1,338,825.00
11	Testing (assumes 4%)	LS	1	-	\$ 36,285.00
12	Inspection Fees (assumes 3.5%)	LS	1	-	\$ 31,749.38
13	Bonds (assumes 4%)	LS	1	-	\$ 36,285.00
		SHEET SUBTOTAL			\$ 1,443,144.38
		CONST. CONTING (10%)			\$ 101,144.44
		SHEET SUBTOTAL			\$ 1,544,288.81

**G&A CONSULTANTS, LLC  
111 HILLSIDE DRIVE  
LEWISVILLE, TEXAS 75057  
972-436-9712  
TBPE FIRM NO. 1798**

**ENGINEER'S PRELIMINARY OPINION OF PROBABLE COST**

SHEET \_\_\_\_\_ 6 OF 6

Project: Hebron Residential Subdivision - East of Josey - Phase IIA - 100 Lots- Area III  
Development Probable Cost Summary

Project No. 13177 Date: November 26, 2014

Estimate does not include:

- Mobilization or Insurance
- Franchise Utility Installations or Relocations - gas, electric, telephone, street lights, etc.
- Assumption is that all dirt will be from/remain on subject Property - Location to be determined
- Homeowner Association Trails and Open Space Amenities
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- Lot Benching and Grading
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APPENDIX C  
2018-19 ASSESSMENT ROLL

Appendix C  
JOSEY LANE PID  
Assessment Roll Summary - 2018-19

Parcel	Lot Type	Equivalent Units	Assessment per Parcel	Annual Assessment	Administrative Expenses	Total Annual Installment
675818	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675819	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675820	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675821	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675822	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675823	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675824	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675825	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675826	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675827	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675828	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675829	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
675830	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675831	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675832	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675833	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
675834	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675835	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675836	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675837	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675838	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675839	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675840	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675841	N/A	0.00	\$0.00	\$0.00	\$0.00	\$0.00
675842	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675843	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675844	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675845	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675846	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675847	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675848	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675849	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675850	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675851	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675852	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675853	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675854	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675855	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675856	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675857	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675858	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675859	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675860	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675861	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675862	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675863	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30

**JOSEY LANE PID**  
**Assessment Roll Summary - 2018-19**

Parcel	Lot Type	Equivalent Units	Assessment per Parcel	Annual Assessment	Administrative Expenses	Total Annual Installment
675864	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675865	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
675866	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675867	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675868	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675869	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675870	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675871	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675872	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675873	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675874	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675875	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675876	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675877	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675878	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675879	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675880	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675881	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675882	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675883	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675884	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675885	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675886	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675887	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675888	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675889	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675890	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675891	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675892	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675893	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675894	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675895	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675896	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675897	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675898	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675899	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675900	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675901	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675902	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675903	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675904	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675905	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675906	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675907	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675908	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675909	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675910	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21

**JOSEY LANE PID**  
**Assessment Roll Summary - 2018-19**

Parcel	Lot Type	Equivalent Units	Assessment per Parcel	Annual Assessment	Administrative Expenses	Total Annual Installment
675911	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675912	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675913	5	1.60	\$49,992.60	\$3,264.52	\$267.16	\$3,531.67
675914	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675915	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675916	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675917	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675918	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675919	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675920	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675921	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675922	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675923	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675924	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675925	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675926	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675927	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675928	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675929	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675930	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675931	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
675932	N/A	0.00	\$0.00	\$0.00	\$0.00	\$0.00
675933	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675934	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675935	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675936	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675937	N/A	0.00	\$0.00	\$0.00	\$0.00	\$0.00
675938	5	1.60	\$49,992.60	\$3,264.52	\$267.16	\$3,531.67
675939	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675940	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675941	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675942	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675943	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
675944	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675945	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675946	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675947	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
675948	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675949	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675950	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675951	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675952	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
675953	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
677135	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
677136	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677137	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677138	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75

**JOSEY LANE PID**  
**Assessment Roll Summary - 2018-19**

Parcel	Lot Type	Equivalent Units	Assessment per Parcel	Annual Assessment	Administrative Expenses	Total Annual Installment
677139	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677140	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677141	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677142	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677143	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677144	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677145	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677146	5	1.60	\$49,992.60	\$3,264.52	\$267.16	\$3,531.67
677147	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677148	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677149	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677150	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677151	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677152	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677153	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677154	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677155	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677156	N/A	0.00	\$0.00	\$0.00	\$0.00	\$0.00
677157	N/A	0.00	\$0.00	\$0.00	\$0.00	\$0.00
677158	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
677159	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677160	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677161	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677162	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677163	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677164	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677165	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677166	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677167	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677168	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677169	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677170	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677171	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677172	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677173	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677174	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
677175	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677176	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677177	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677178	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677179	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677180	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677181	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
677182	4	1.40	\$43,743.53	\$2,856.45	\$233.76	\$3,090.21
677183	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677184	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677185	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75

**JOSEY LANE PID**  
**Assessment Roll Summary - 2018-19**

Parcel	Lot Type	Equivalent Units	Assessment per Parcel	Annual Assessment	Administrative Expenses	Total Annual Installment
677186	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677187	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677188	5	1.60	\$49,992.60	\$3,264.52	\$267.16	\$3,531.67
677189	5	1.60	\$49,992.60	\$3,264.52	\$267.16	\$3,531.67
677190	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677191	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677192	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677193	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677194	5	1.60	\$49,992.60	\$3,264.52	\$267.16	\$3,531.67
677195	N/A	0.00	\$0.00	\$0.00	\$0.00	\$0.00
677196	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
677197	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677198	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677199	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677200	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677201	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677202	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
677203	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677204	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
677205	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677206	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
677207	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
677208	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
677209	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
677210	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
707112	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
707113	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707114	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707115	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707116	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707117	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707118	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707119	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707120	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707121	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707122	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707123	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707124	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707125	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707126	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707127	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707128	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707129	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707130	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707131	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707132	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707133	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30



**JOSEY LANE PID**  
**Assessment Roll Summary - 2018-19**

Parcel	Lot Type	Equivalent Units	Assessment per Parcel	Annual Assessment	Administrative Expenses	Total Annual Installment
707134	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707135	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707136	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707137	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707138	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707139	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707140	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707141	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707142	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707143	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
707144	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
707145	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707146	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
707147	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
707148	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
707149	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707150	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707151	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707152	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707153	N/A	0.00	\$0.00	\$0.00	\$0.00	\$0.00
707154	5	1.60	\$49,992.60	\$3,264.52	\$267.16	\$3,531.67
707155	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707156	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707157	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707158	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707159	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
707160	2	1.20	\$37,494.45	\$2,448.39	\$200.37	\$2,648.75
707161	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707162	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
707163	3	1.30	\$40,618.99	\$2,652.42	\$217.06	\$2,869.48
707164	N/A	0.00	\$0.00	\$0.00	\$0.00	\$0.00
707165	1	1.00	\$31,245.38	\$2,040.32	\$166.97	\$2,207.30
20186		176.60	\$5,517,933.42	\$0.00	\$0.00	\$0.00
523333		104.00	\$3,249,519.11	\$0.00	\$0.00	\$0.00
<b>Total</b>		<b>567.70</b>	<b>\$17,738,000.00</b>	<b>\$585,776.75</b>	<b>\$47,937.66</b>	<b>\$633,714.41</b>