

Narrative of Property Use and Function

This site will be developed in two uses under one management group.

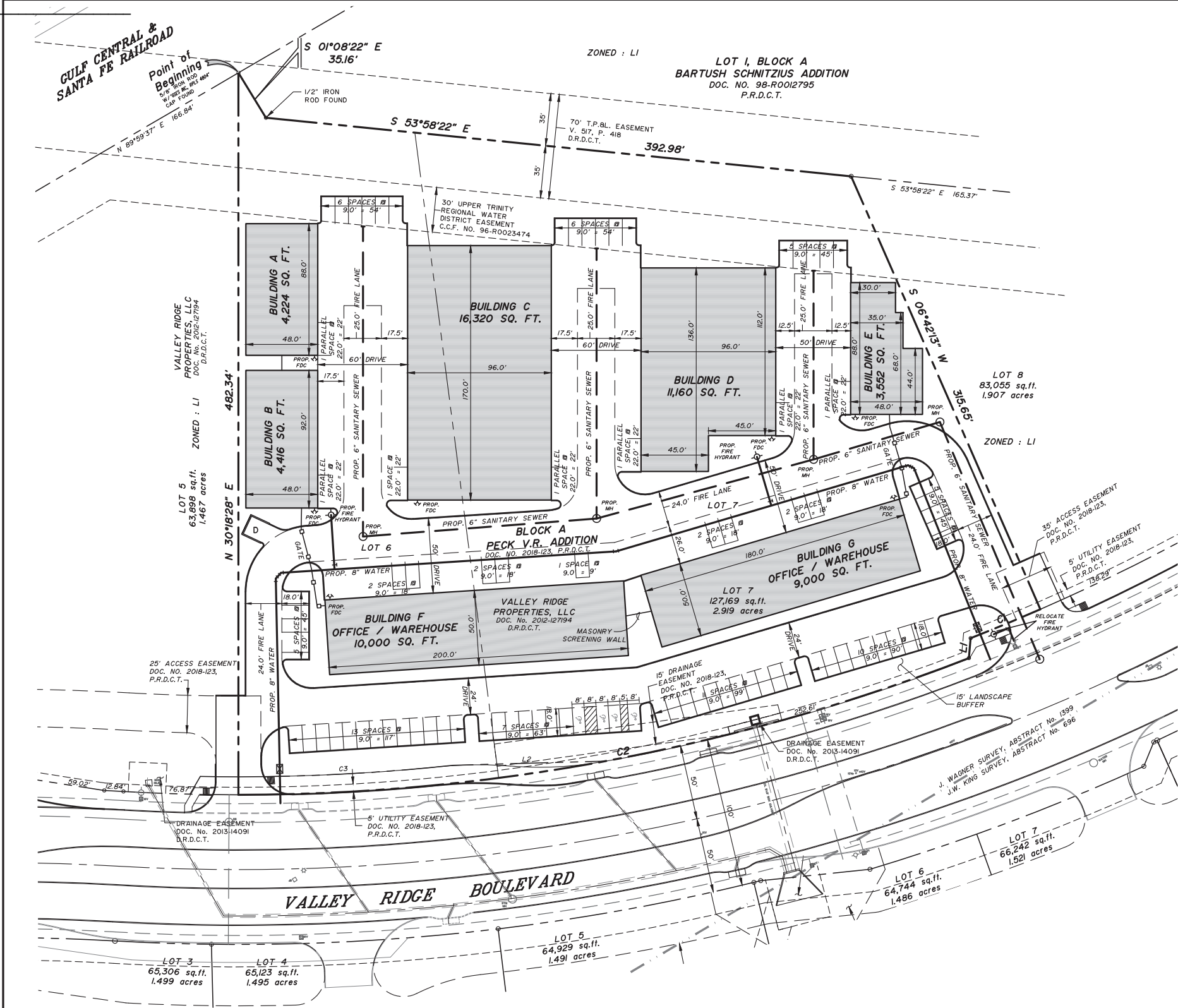
The first use, which fronts on Valley Ridge Boulevard, will be an office warehouse development. This would a mix of businesses requiring office space and warehouse space to store products. The front of these buildings will have an office appearance. This use is intended to provide screening for the second use in the rear of the property.

The rear portion of the property will be developed as "Urban Garages".

Urban Garage is based on the autominium movement that is currently sweeping the nation. Like other concepts in the country, Urban Garages boasts as a privately-owned luxury condominium for your vehicle, as well as, common area lounge for entertaining, guest office and shower facility to enjoy.

Each individual unit can be customized to provide mezzanine space for interior lounge areas and kitchenettes, bathrooms, or office space. The flexible space plan also allows for other types of uses, such as, RV Storage, recreational vehicles, collector or exotic Cars, or personal storage. All of the units will be fully enclosed with egress to the space thru overhead doors and individual man doors. The entire site will be managed under a condo association to prevent and restrict use, as well as, effectively manage the property. This will eliminate issues such as outdoor parking and storage, cleanliness of the site, and maintenance of the property.

The site is currently zoned as light industrial and we believe that the use described above compliment the current zoning. We thank you for your consideration and look forward to your questions or request for any additional information regarding Urban Garages.



LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S 35°18'00" W	13.39'
L2	N 61°15'30" W	102.16'

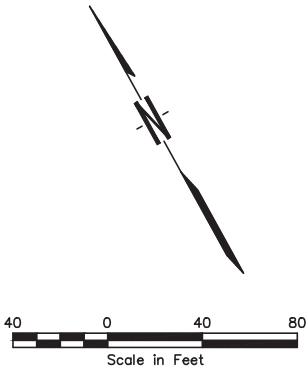
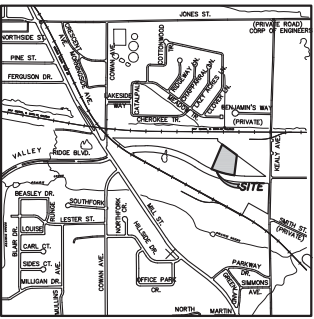
CURVE TABLE					
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CH. BEARING
C1	02°09'36"	1338.00'	25.22'	50.44'	N 82°12'59" W
C2	21°11'28"	1350.00'	252.54'	499.31'	N 70°17'16" W
C3	06°08'38"	1338.00'	71.81'	143.48'	N 62°45'51" W

**NOTE REGARDING DRAINAGE**  
THIS SITE DRAINS SOUTHWEST TO VALLEY RIDGE BOULEVARD. THE RUNOFF FROM THIS SITE WILL BE COLLECTED IN AN UNDERGROUND STORM SEWER SYSTEM AND CONNECTED TO THE EXISTING SYSTEM IN VALLEY RIDGE.

- LEGEND**
- PP POWER POLE
  - WM WATER METER
  - WV WATER VALVE
  - LS LIGHT STANDARD
  - TF TRANSFORMER
  - CC CLEANOUT
  - ICV IRRIGATION CONTROL VALVE
  - JB JUNCTION BOX
  - WV WATER VAULT
  - GM GAS METER
  - GV GAS VALVE
  - MS METAL SIGN
  - PA POWER POLE ANCHOR
  - SS SANITARY SEWER MANHOLE
  - OHP OVERHEAD POWER LINE
  - F FENCE
  - A/C AIR CONDITION UNIT
  - TR TELEPHONE RISER
  - CR CABLE RISER
  - EM ELECTRIC METER
  - GI GRATE INLET
  - GL FLOOD LIGHT
  - MW MONITORING WELL
  - PROPERTY LINE
  - EASEMENT LINE
  - SETBACK LINE

**APPLICANT/OWNER/DEVELOPER:**  
URBAN GARAGES  
CARL FLEMING  
6136 FRISCO SQUARE BLVD., STE. 400  
FRISCO, TEXAS 75034  
(469) 252-1123

**ENGINEER/SURVEYOR:**  
ROBERT W. SCHNEEBERG, P.E., R.P.L.S.  
GONZALEZ & SCHNEEBERG, INC.  
2100 LAKESIDE BOULEVARD, SUITE 200  
RICHARDSON, TEXAS 75082  
(972) 516-8855



SITE DATA SUMMARY TABLE - URBAN GARAGES

LOT AREA = 4.400 ACRES OR 191,664 S.F.

BUILDING SQUARE FOOTAGE = 58,672 SQUARE FEET  
WAREHOUSE SPACE = 13,300 SQUARE FEET  
OFFICE SPACE = 6,372 SQUARE FEET  
CLIMATE CONTROLLED SELF STORAGE = 39,000 SQUARE FEET  
Percentage of Self Storage Area to Total Building Area = 66.5%  
Percentage of Storage Area to Total Site Area = 20.3%  
BUILDING HEIGHT = 26 FEET  
STORIES = ONE

REQUIRED SETBACKS:

FRONT = 25 FEET  
SIDE = 0 FEET  
REAR = 0 FEET

PARKING REQUIRED:

WAREHOUSE: 13,300/1,000 (1 SPACE PER 1,000 S.F.) = 14 SPACES  
OFFICE: 6,372/250 (1 SPACE PER 250 S.F.) = 32 SPACES  
CLIMATE CONTROLLED SELF STORAGE: 39,000/1,000 (1 SPACE PER 1,000 S.F.) = 39 SPACES

TOTAL REQUIRED = 85 SPACES

PARKING PROVIDED = 88 SPACES TOTAL INCLUDING 4 HANDICAPPED SPACES

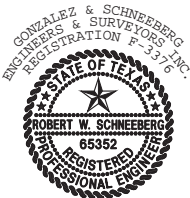
IMPERVIOUS AREAS:

BUILDING = 58,672 SQUARE FEET  
PAVEMENT = 81,334 SQUARE FEET  
TOTAL = 140,006 SQUARE FEET

Note: If the five self storage buildings are converted to permitted uses in the future, a new engineering site plan will be required for approval.

ALL SIGNAGE ON THIS SITE SHALL COMPLY WITH ALL ORDINANCES OF THE CITY OF LEWISVILLE. ADDITIONALLY, ANY FUTURE FREESTANDING SIGNS ON THE SITE WILL BE LOW-PROFILE MONUMENT SIGNS PER THE CITY STANDARDS.

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF REVIEW, PERMITTING AND BIDDING. IT HAS NOT BEEN APPROVED FOR CONSTRUCTION BY THE CITY OF LEWISVILLE.  
PLANS PREPARED UNDER THE DIRECT SUPERVISION OF ROBERT W. SCHNEEBERG, P.E.  
TEXAS REGISTRATION NO. 65352  
DATE: 10/03/2018

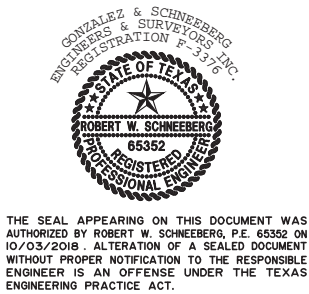
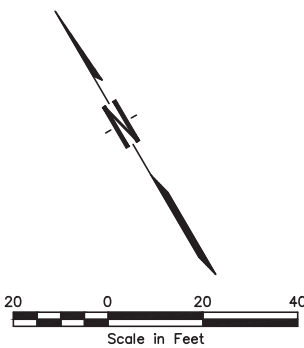
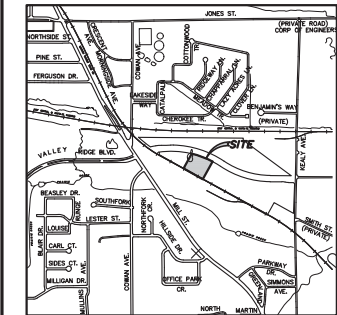
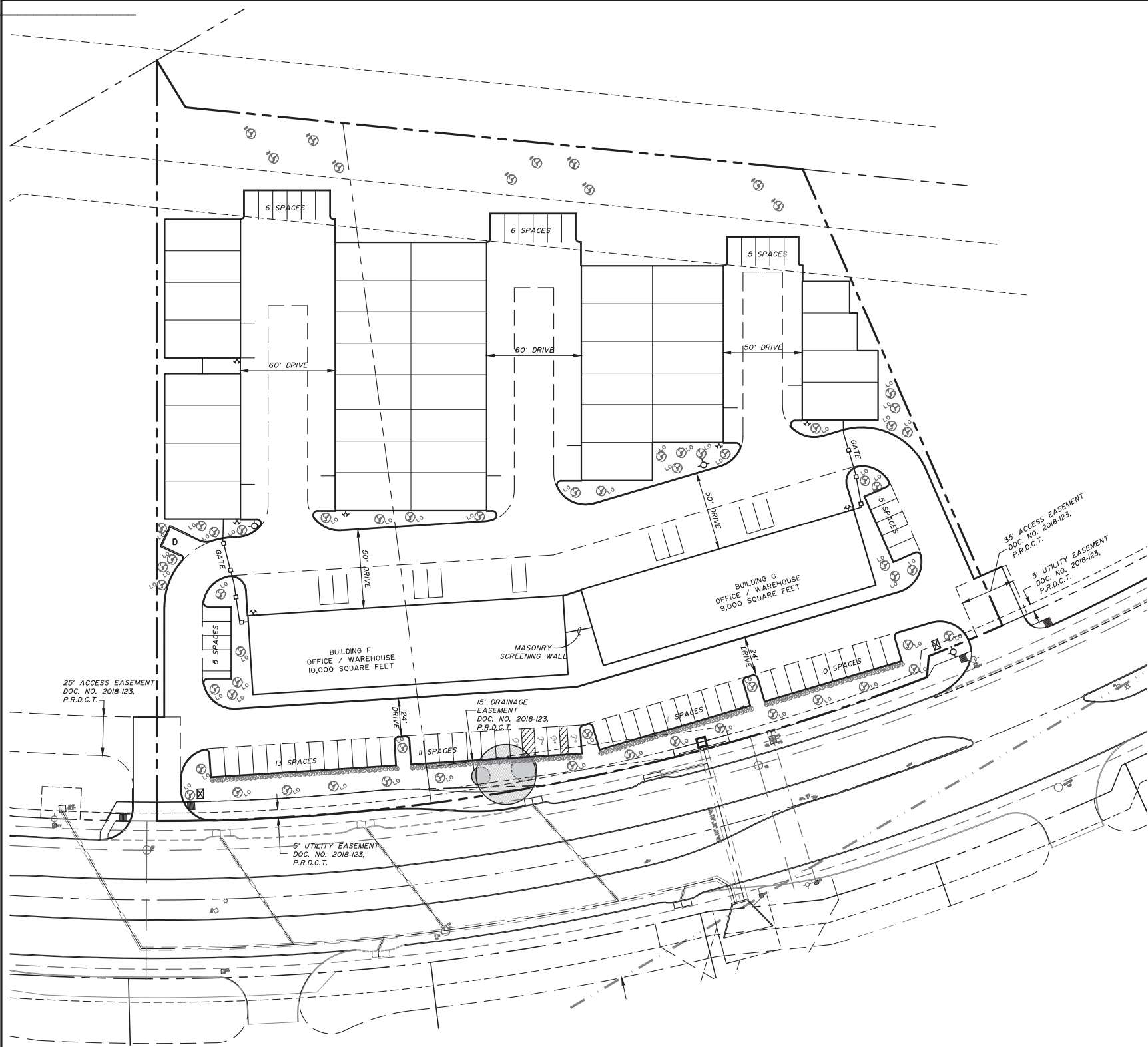


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEEBERG, P.E. 65352 ON 10/03/2018. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**DEVELOPMENT PLAN  
FOR  
URBAN GARAGES  
PECK V.R. ADDITION  
LOTS 6 AND 7, BLOCK A  
EXISTING ZONING: "LI"**

Engineering Firm No. F-3376  
Surveying License No. 10075200

PROJ. NO.: 6143-17-10-19			DWG. NO.: 6143 urban garages.dwg		
<b>Gonzalez &amp; Schneeberg</b> engineers ■ surveyors		2100 Lakeside Boulevard Suite 200, Richardson, Texas 75082 - (972) 516-8855			
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
GES	GES	MAY 2018	1" = 40'		



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CARL FLEMING  
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FRISCO, TEXAS 75034  
(469) 252-1123  
  
**ENGINEER/SURVEYOR:**  
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RICHARDSON, TEXAS 75082  
(972) 516-8855

CITY OF LEWISVILLE LANDSCAPE REQUIREMENTS COMPLIANCE	
A LANDSCAPE STRIP SHALL BE PROVIDED ADJACENT TO ALL PUBLIC AND PRIVATE STREETS. THE LANDSCAPE STRIP SHALL BE A MINIMUM OF 10' FEET, EXCLUSIVE OF STREET RIGHT-OF-WAY. LANDSCAPE STRIP REQUIRED - MINIMUM 10' WIDTH PROVIDED - VARIABLE WIDTH, 15' MINIMUM	INTERIOR PARKING AREAS SHALL BE LANDSCAPED IN ADDITION TO THE REQUIRED LANDSCAPED STRIP. TREES MUST BE PROVIDED IN EACH PARKING LOT AT A MINIMUM AVERAGE DENSITY OF ONE SHADE TREE (2.5" CALIPER MINIMUM) FOR EACH 15 PARKING SPACES. PARKING LOT TREES: REQUIRED- 89 PARKING SPACES (DIVIDED BY) 15 = 6 TREES PROVIDED: 6 NEW TREES (2.5" CAL.) = 6 MITIGATION REQUIRES 104 INCHES OF TREES. 104/2.5" CAL. = 42 TREES - PROVIDED: 42 TREES
WHERE PARKING LOTS AND DRIVES ABUT THE LANDSCAPE STRIP ALONG STREET RIGHT-OF-WAY, EVERGREEN SHRUBS MUST BE PROVIDED FOR SCREENING. THE SCREENING MUST BE A MINIMUM OF 3' HIGH AND EXTEND ALONG THE ENTIRE STREET FRONTAGE OF THE PARKING LOT. PARKING LOT SCREENING: SCREENING SHRUBS PROVIDED	ADDITIONALLY, INTERIOR PARKING LOT LANDSCAPING SHALL BE PROVIDED. TO CALCULATE THE TOTAL PARKING AREA AND THE SUBSEQUENT PERCENTAGE OF REQUIRED INTERIOR LOT LANDSCAPING, TOTAL THE SQUARE FOOTAGE OF PARKING SPACES, PLANTING ISLANDS, CURBED AREAS AND ALL INTERIOR DRIVEWAYS AND AISLES EXCEPT THOSE WITH NO PARKING SPACES LOCATED ON EITHER SIDE. INTERIOR LANDSCAPING: REQUIRED: PARKING AREA WITH DRIVEWAY = 38,356 SF X 0.08 = 3,068 SF PROVIDED: 33,200 SF

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BUILDING HEIGHT = 26 FEET STORIES = ONE
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TOTAL REQUIRED = 85 SPACES PARKING PROVIDED = 88 SPACES TOTAL INCLUDING 4 HANDICAPPED SPACES
IMPERVIOUS AREAS: BUILDING = 58,672 SQUARE FEET PAVEMENT = 81,334 SQUARE FEET TOTAL = 140,006 SQUARE FEET

PLANT LEGEND			
	COMMON NAME:	SCIENTIFIC NAME:	SIZE:
LO	LIVE OAK	QUERCUS VIRGINIANA	2.5" CAL.
JBP	JAPANESE BLACK PINE	PINUS THUNBERGII	2.5" CAL.
	AUTUMN SAGE	---	3 GAL.-.36" O.C.
	EXISTING TREE	---	EXISTING TREE TO REMAIN REFER TO TREE SURVEY FOR SIZE & SPECIES.
	GROUND COVER: BERMUDA	CYNODON DACTYLON	HYDROMULCH

**SUMMARY TABLE:**  
CREDITS FOR TREES IN PARKING AREAS = 0  
CREDITS FOR TREES IN FRONT LANDSCAPE BUFFER = 8  
MITIGATION TOTALS = 104 INCHES OF NEW TREES OR \$ 9,000

DEVELOPMENT PLAN  
LANDSCAPE PLAN  
FOR  
URBAN GARAGES  
PECK V.R. ADDITION  
LOTS 6 AND 7, BLOCK A  
EXISTING ZONING: "L1"

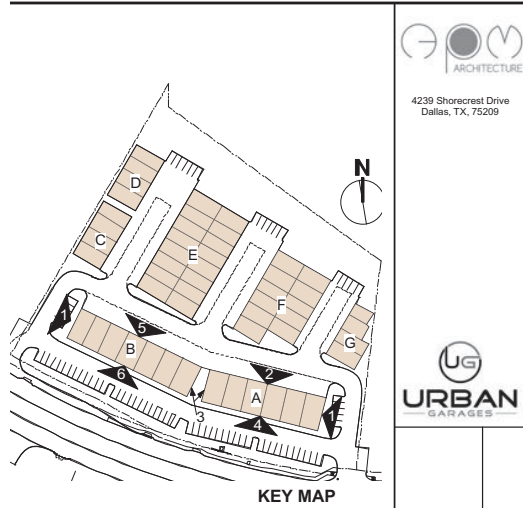
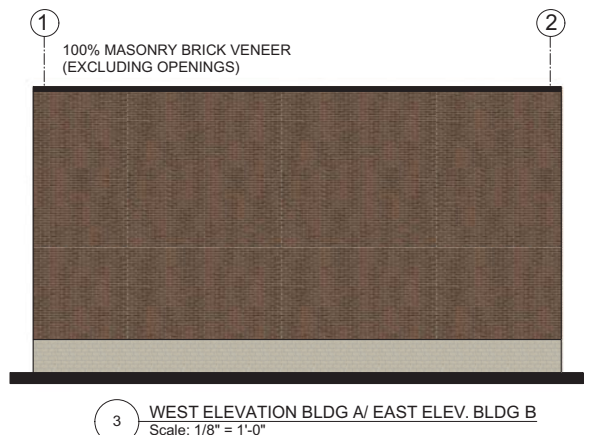
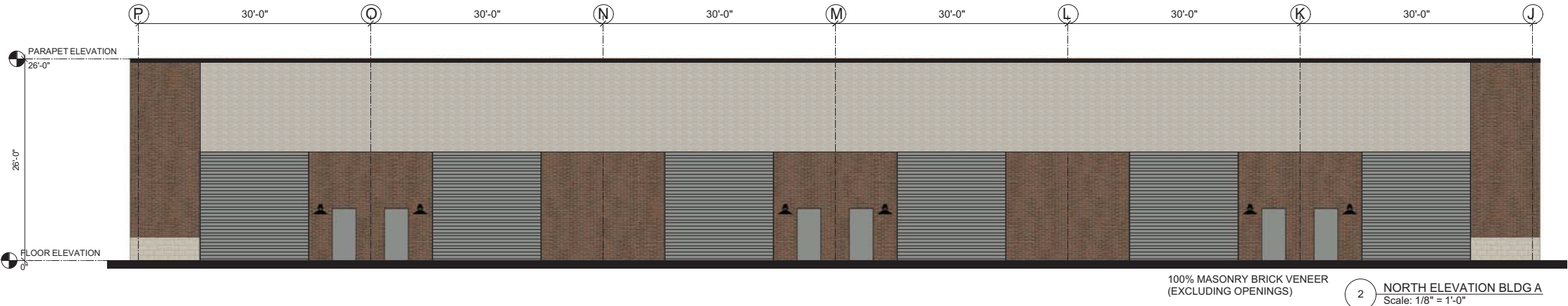
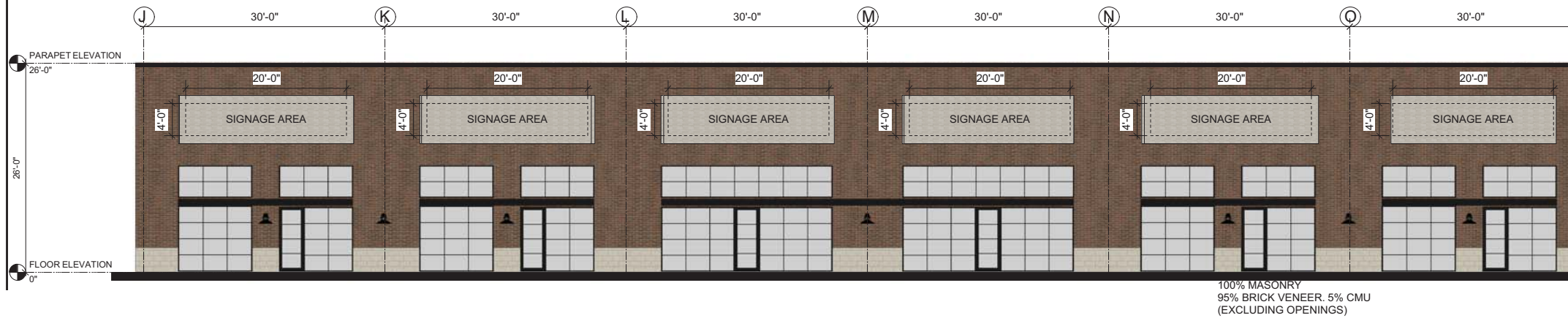
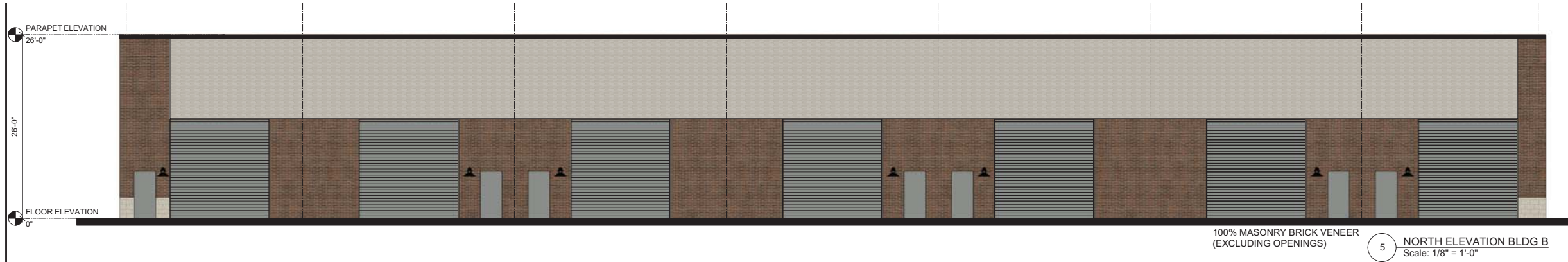
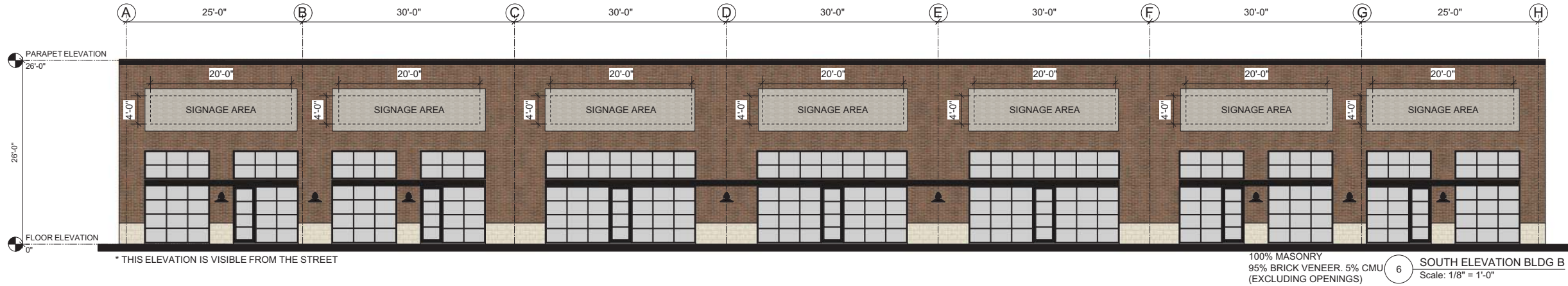
Engineering Firm No. F-3376  
Surveying License No. 10075200

PROJ. NO.: 6143-17-10-19  
**Gonzalez & Schneeberg**  
engineers ■ surveyors

DWG. NO.: 6143-Trees survey.dwg  
2100 Lakeside Boulevard  
Suite 200, Richardson, Texas  
75082 - (972) 516-8855

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
GES	GES	OCTOBER 2018	1" = 20'			





**MATERIAL LEGEND**

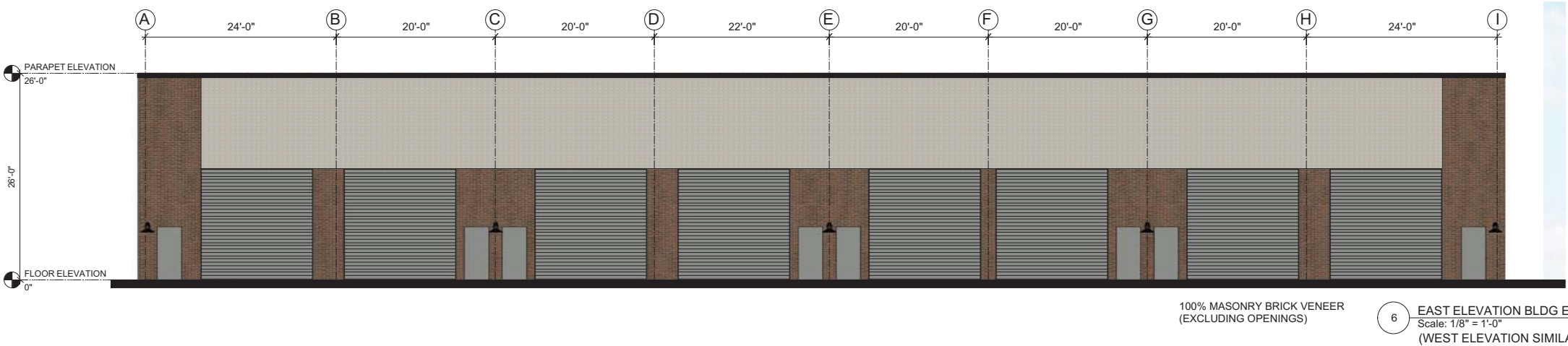
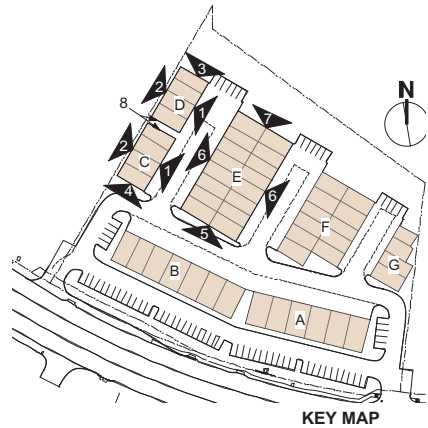
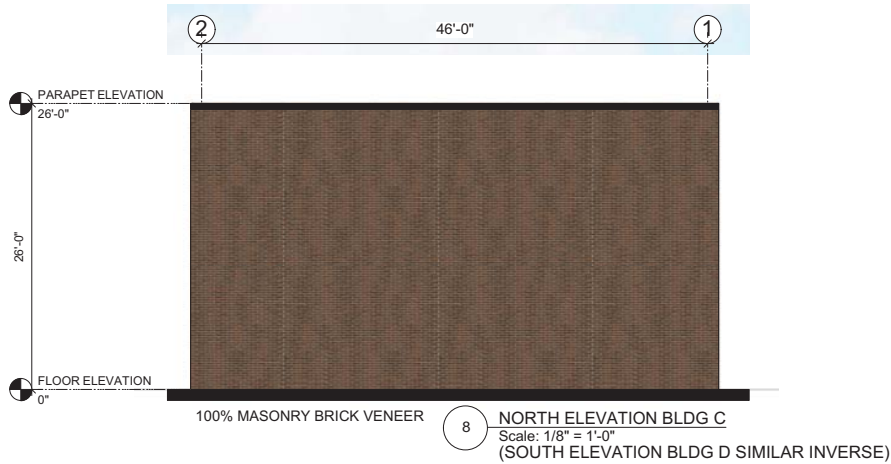
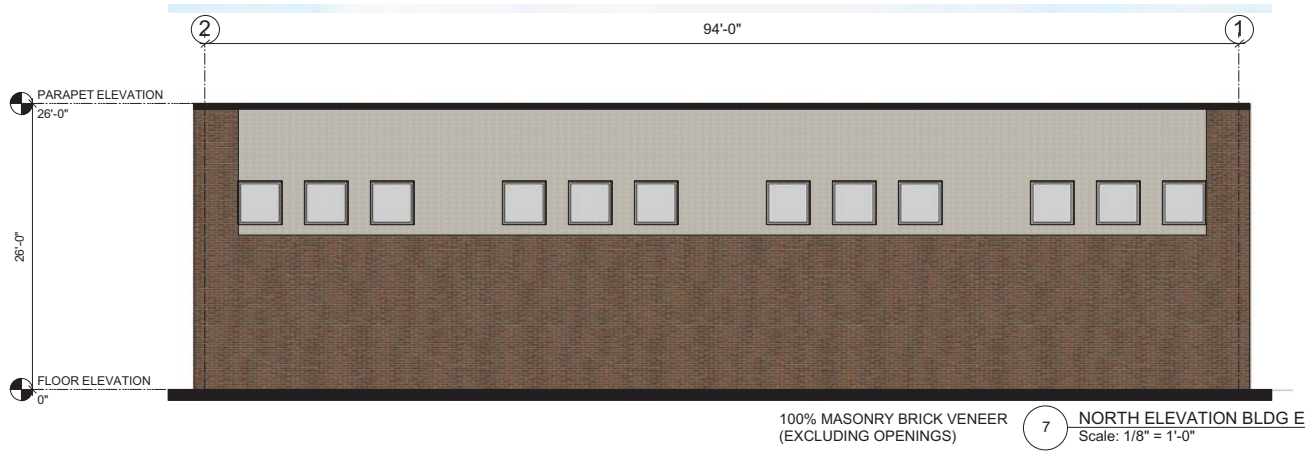
MASONRY 1 RED BRICK
MASONRY 2 TAN CMU
MASONRY 3 GRAY BRICK

**SIGNAGE NOTES**

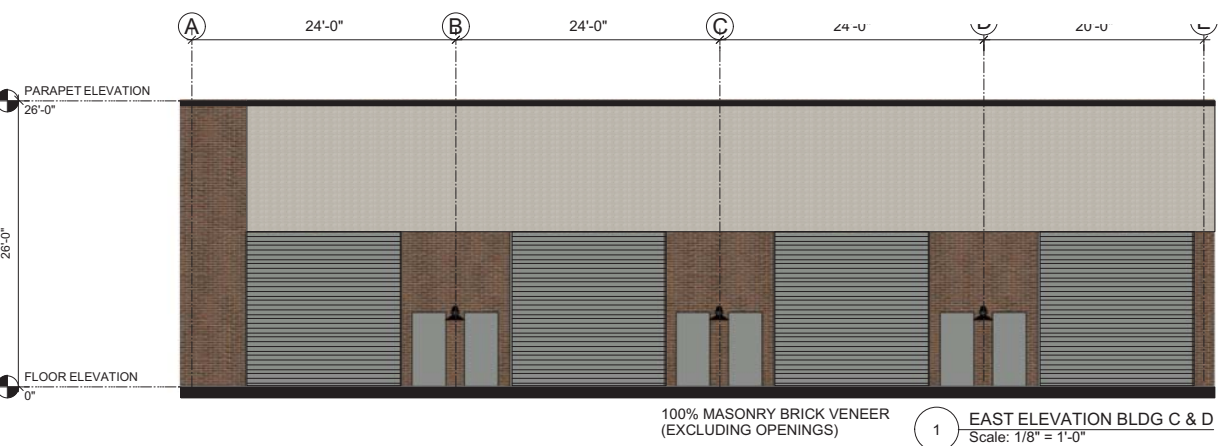
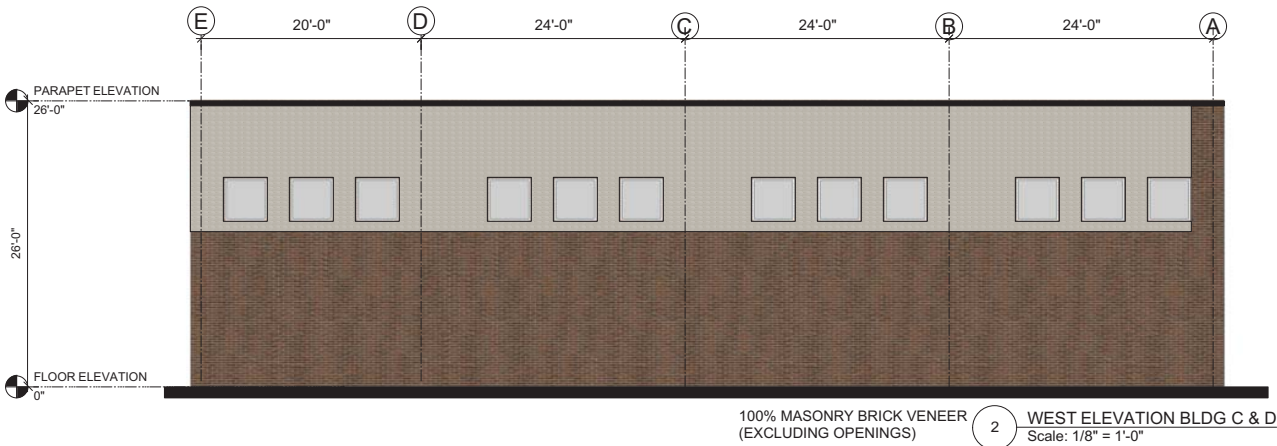
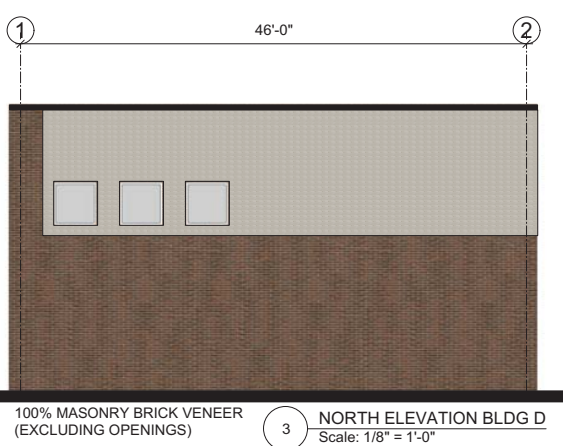
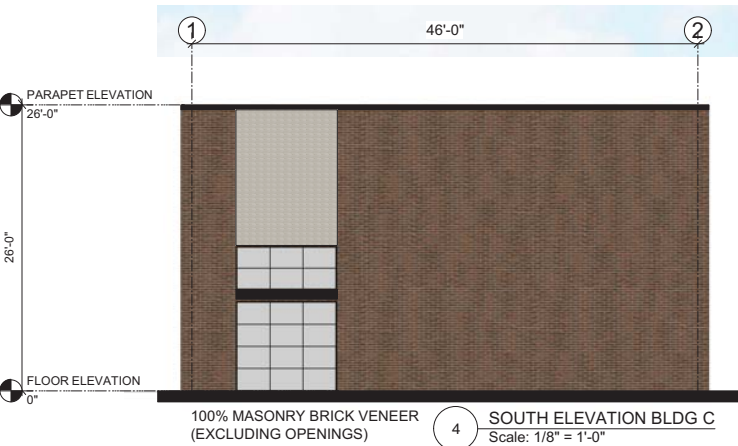
- SIGNAGE SHALL BE INSTALLED INSIDE DESIGNATED AREA
- TENANT SIGNAGE WILL BE SUBMITTED FOR APPROVAL UNDER SEPARATE PERMIT

\* NO ELEVATIONS VISIBLE FROM THE STREET UNLESS NOTET OTHERWISE





- MATERIAL LEGEND**
- MASONRY 1 RED BRICK
  - MASONRY 2 TAN CMU
  - MASONRY 3 GRAY BRICK



\* NO ELEVATIONS VISIBLE FROM THE STREET UNLESS NOTET OTHERWISE



4239 Shorecrest Drive  
Dallas, TX, 75209



# URBAN GARAGE LEWISVILLE

Project Name

Address

Sheet Title

ELEVATIONS  
BUILDINGS C,  
D & E

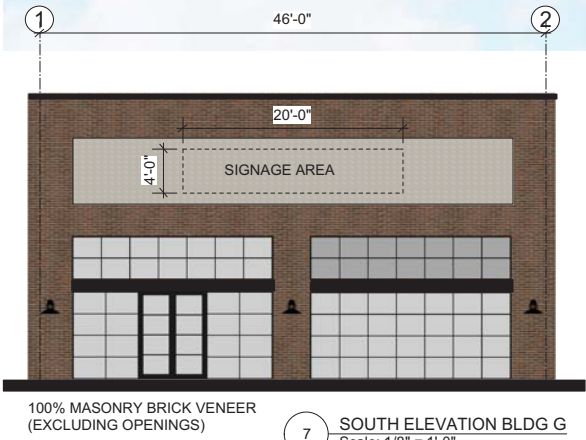
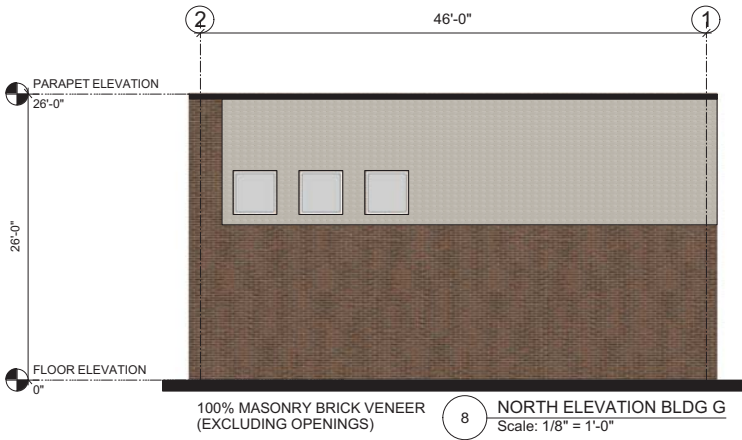
Revisions

Date 9/13/2018

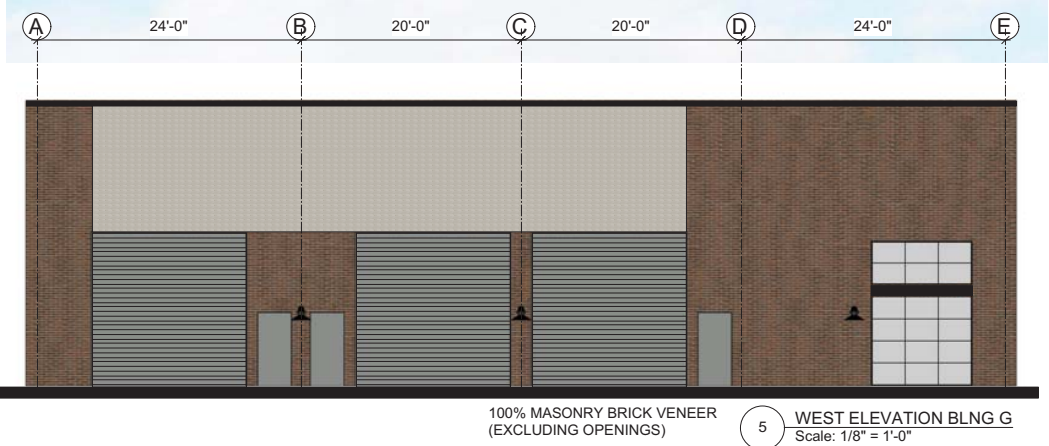
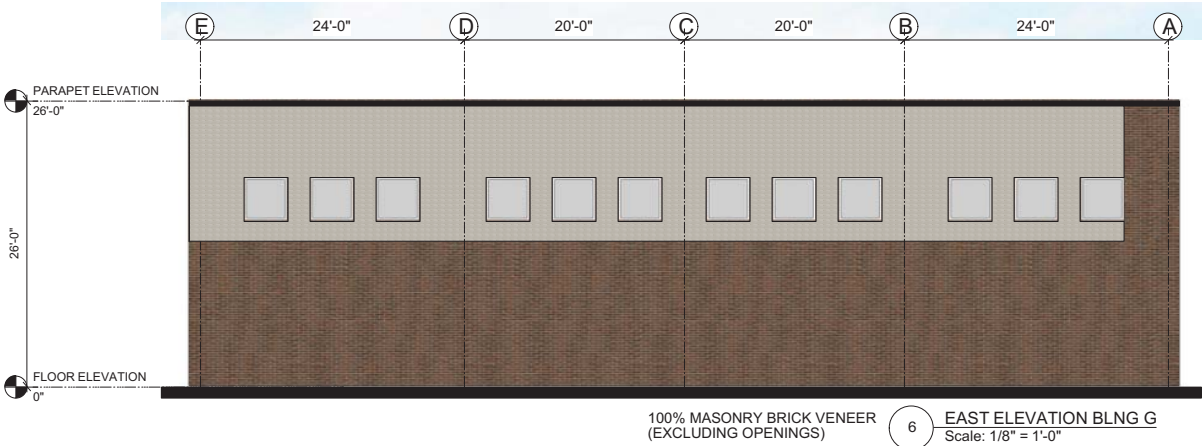
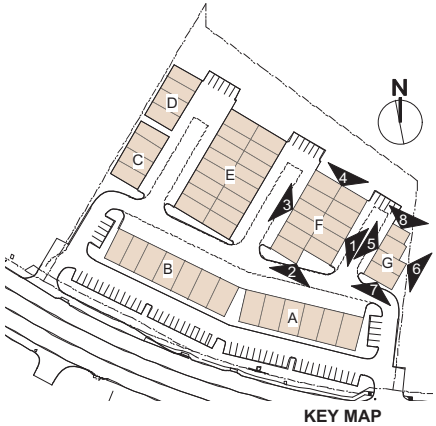
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Sheet Number



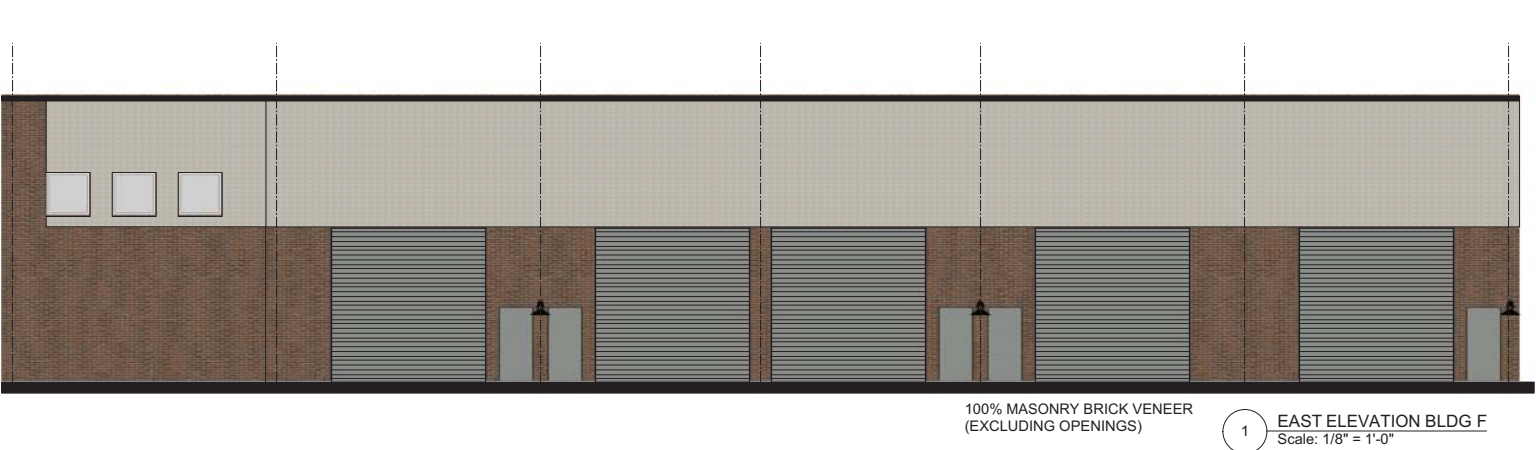
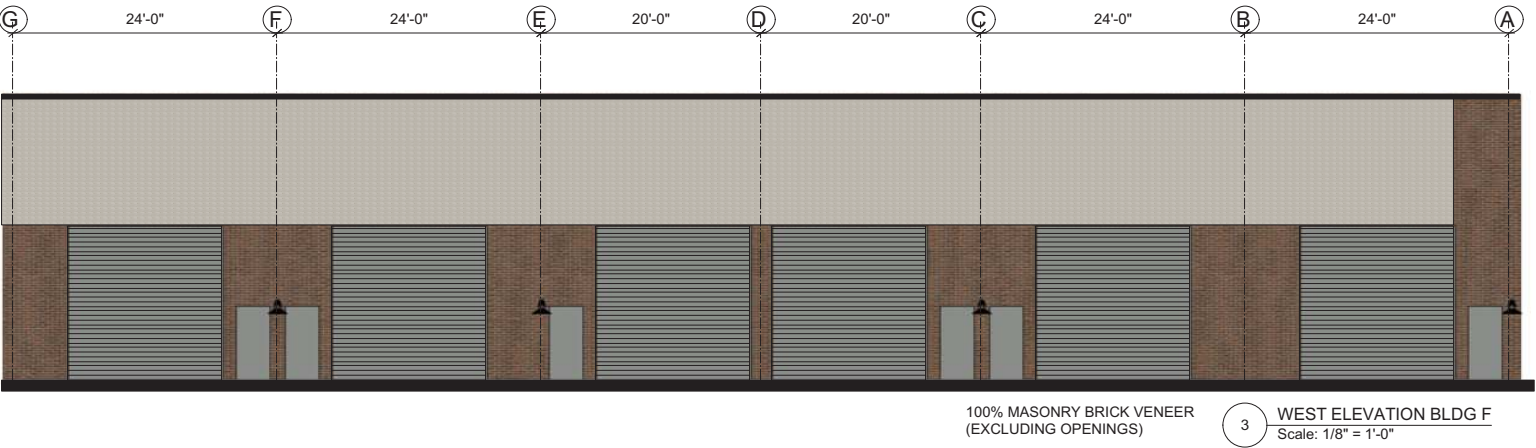


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